

Planning Committee

9 January 2023



20/01893/FM





ALL DIMENSIONS AND SETTING OUT ARE TO BE VERIFIED ON SITE AND ALL DISCREPANCIES REFERRED TO THE ARCHITECT BEFORE WORK COMMENCES. COPYRIGHT RESERVED

REV.	DATE	DESCRIPTION

'Subject To Survey'
 Based upon the Ordnance Survey map with permission of The Controller of Her Majesty's Stationery Office, C. Crown Copyright © John Roberts Architects Limited, Lincoln, LN2 1GD
 Licence No. AR 154184

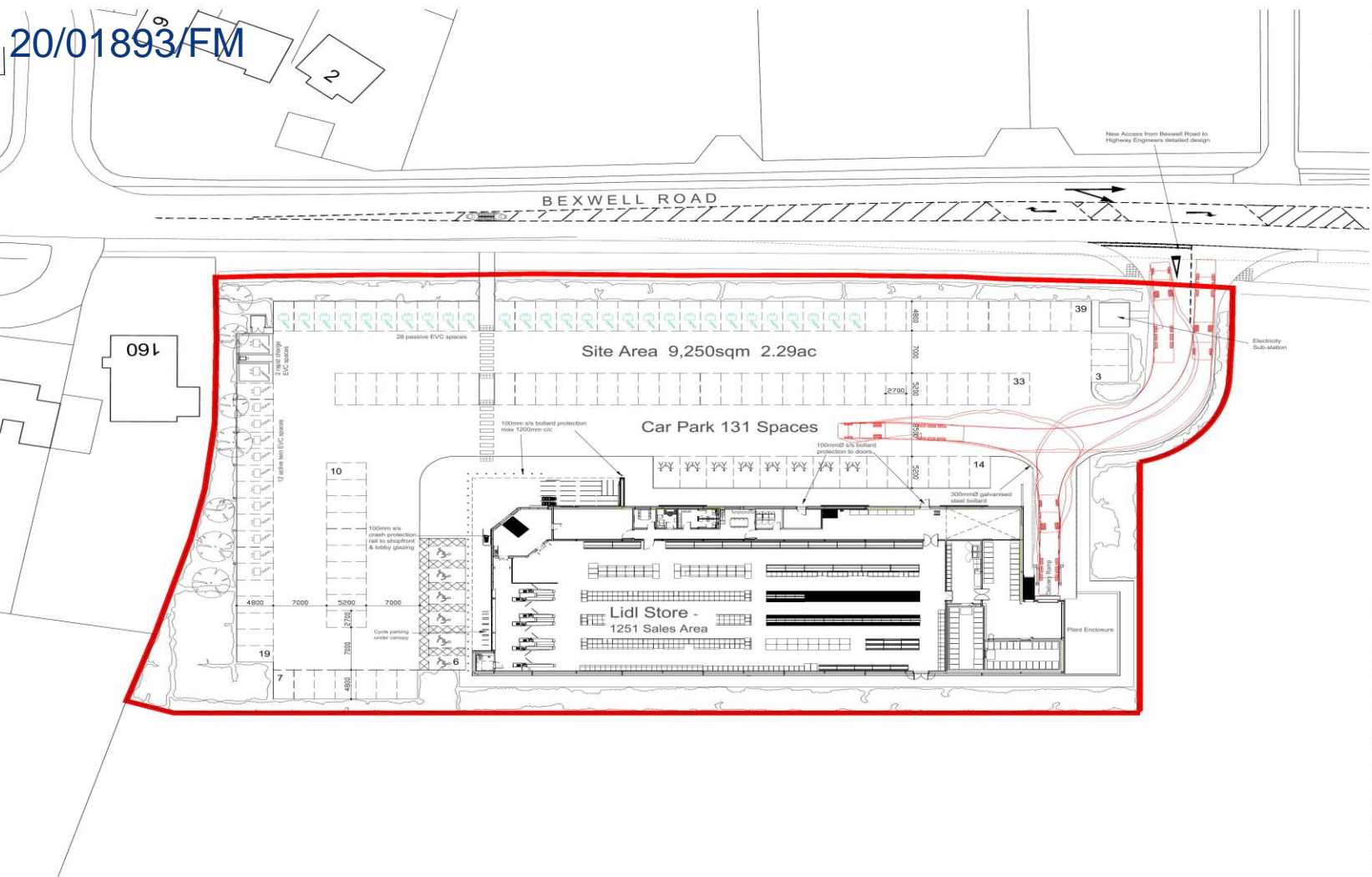
client	Lidl GB Ltd
project	Lidl Development Bexwell Road Downham Market
drawing	Location Plan
scale	1:1250@A3
date	May 20
drawn	checked
drawing no.	7783L-06
revision	

20/01893/FM

ALL DIMENSIONS AND SETTING OUT ARE TO BE VERIFIED ON SITE AND ALL DIMENSIONS SURVEYED TO THE ANCHOR POINT BEFORE WORK COMMENCES. COPYRIGHT RESERVED

REV: 01:02:22 DISCUSSION
 02:08:22 ARIUS UPDATED
 05:19:22 ARIUS UPDATED
 05:19:22 EDC PROVISION UPDATED

(Subject To Survey)
 Based upon the Ordnance Survey map supplied as part of the Contracting. See Ordnance Survey's Licence: Crown Copyright and the Geography Department, London. Licence No: 102 1500. License No: 304 15004



Site Layout	
Sales Area	1,251sqm
Auxiliary	217sqm
Vehicleway	427sqm
GIA	1,895sqm
Site Area	9,250sqm
Total Car Spaces	131

client
Lidl GB Ltd

project
New Lidl Store
Besswell Road
Downham Market

drawing
Proposed Site Plan

scale
1:250@A1, 1:500@A3

date
Aug 22

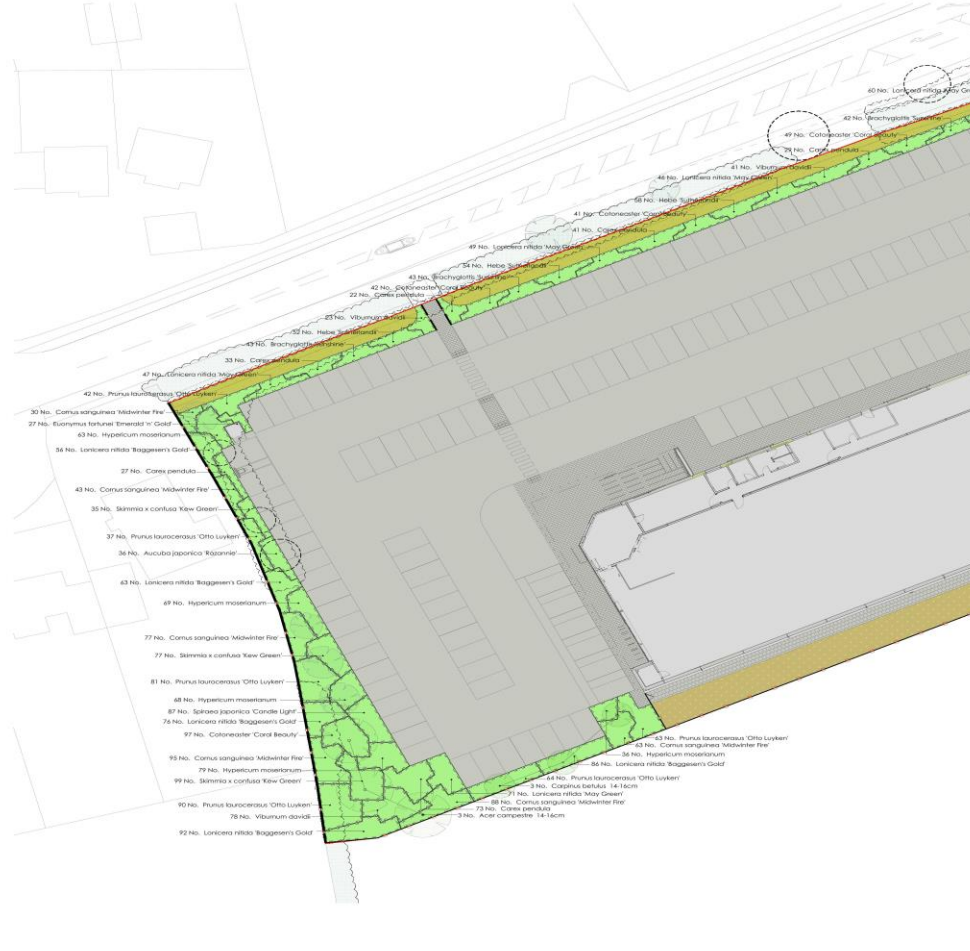
drawn
RM

checked

drawing no.
7783L-25

revision
C

- 1. SURFACE TREATMENTS - HOW SPECIFICATION:**
- PAVING: 300 x 300mm light grey concrete paving stones laid staggered pattern
 - PEDESTRIAN PAVING: 300 x 100mm dark grey concrete block paving laid staggered bond
 - TARMAC: tarmac surface to engineers specification
 - BAK: MULCH: Bark mulch surface laid over granitex
- LEGEND: SOFT LANDSCAPE**
- GROUND COVER: ornamental shrub ground cover planting as specified
 - PROVIDED: WEEDS/WILDLIFER: GRASS: environmental/weed/grass seed mixture
 - TREE PLANTING: shaded tree planting
 - EXISTING TREES / VEGETATION: to be retained
 - EXISTING TREES / VEGETATION: to be removed
- BOUNDARY TREATMENTS:**
- BOUNDARY FENCE: 1800mm high timber acoustic fence to engineers details
 - BOUNDARY FENCE: 1800mm high timber obscured fencing
 - KNEE RAIL: 450mm high timber knee rail



Plant Schedule

Tree	No.	Species Name	Specification	Clear Height	Clear Span	Clear Span	Clear Span	Girth	Height	Density
(Shrub)	173	Cornus sanguinea Midwinter Fire	Buffy 3 ltrls C	30-40cm	3m	3m	3m	40mm	4m	3000
	174	Cornus sanguinea Midwinter Fire	Buffy 3 ltrls C	30-40cm	3m	3m	3m	40mm	4m	3000
	175	Cornus sanguinea Midwinter Fire	Buffy 3 ltrls C	30-40cm	3m	3m	3m	40mm	4m	3000
(Herbaceous)	333	Cornus pendula C full pot	1.5-2 L	1.5m	3m	3m	3m	40mm	4m	3000

bea landscape design ltd

client:
Lidt UK GmbH
project:
Bexwell Road,
Downham Market

Site:
Detailed Landscape
Proposals

status:
PLANNING

date:
12/09/2020

drawn:
SCH

checked:
SCH

approved:
SCH

date:
12/09/2020

scale:
1:200

project:
20/01893/FM

sheet:
01

of:
01

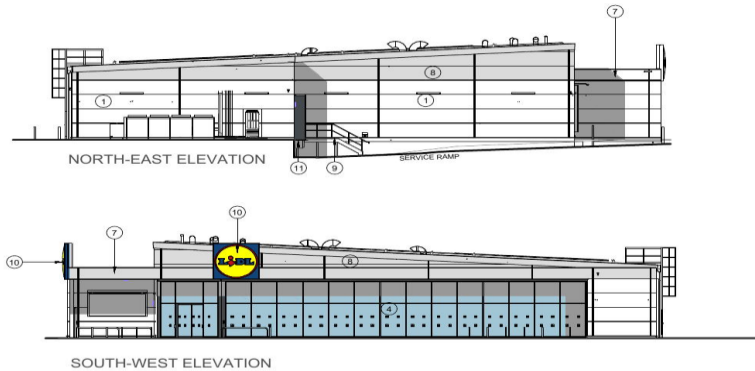
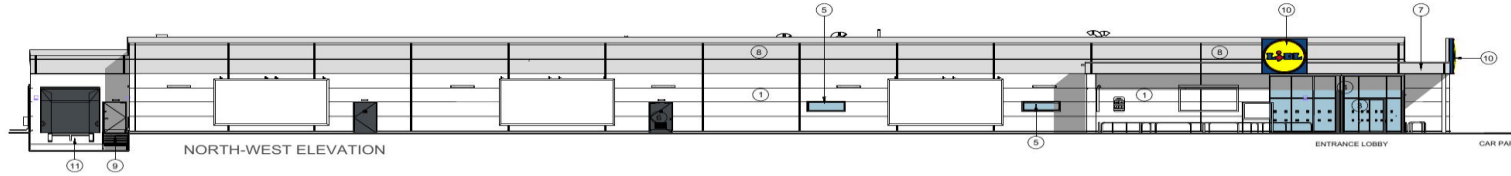
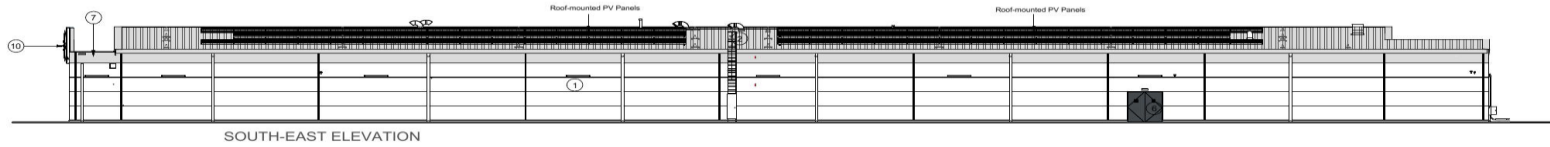
revision:
1

Landscape Institute

Registered Professional
Landscape Architect
No. 42056



All signage indicative subject to a separate application for advertising consent



- 1 WALL CLADDING PANELS - METAL INSULATED COMPOSITE PANELS COLOUR WHITE RAL9010
- 2 2 PITCH ROOF - PROFILED COMPOSITE METAL COLOUR ALUMINIUM RAL 7024
- 3 POWDER COATED ALUMINIUM FRAMED GLAZED ENTRANCE LOBBY WITH AUTOMATIC DOORS COLOUR GREY RAL7034
- 4 POWDER COATED ALUMINIUM FRAMED GLAZED SHOPFRONT COLOUR GREY RAL7024
- 5 POWDER COATED ALUMINIUM FRAMED WINDOWS COLOUR GREY RAL7034
- 6 POWDER COATED STEEL DOOR COLOUR GREY RAL7024
- 7 EAVES, SOFFITS AND FASCIA PANELS COLOUR ALUMINIUM RAL9006
- 8 WALL CLADDING PANELS - METAL INSULATED COMPOSITE PANELS COLOUR ALUMINIUM RAL9006
- 9 STEEL STIFF AND BALUSTRADE PAINTED GREY RAL 7024
- 10 INTERNALLY ILLUMINATED LED STORAGE
- 11 MINI DOCK LEVELLER

client	
Lidl GB Ltd	
project	
New Lidl Store Boxwell Road Downham Market	
drawing	
Elevations	
scale	date
1:125@A1, 1:250@A3	July 22
drawn	checked
RM	
drawing no.	revision
7783L-27	



View of the application site from Bexwell Road



View of the application site from Bexwell Road, showing neighbour to west.



View of the application site from Bexwell Road, looking south.



View looking east along Bexwell Road

20/01893/FM



View looking east along Bexwell Road



View of application site from Bexwell Road looking southeast



View looking west along Bexwell Road



View to north of application site on Bexwell Road



View to north of application site on Bexwell Road

22/01577/RM



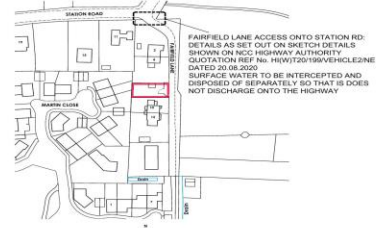
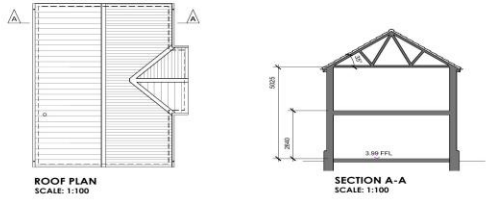


NO PLINTH RENDER FINISH DOWN TO DPC LEVEL ON INNER WALL

RED FACING BRICK TO PIERS AND HEADER COURSE ROUND

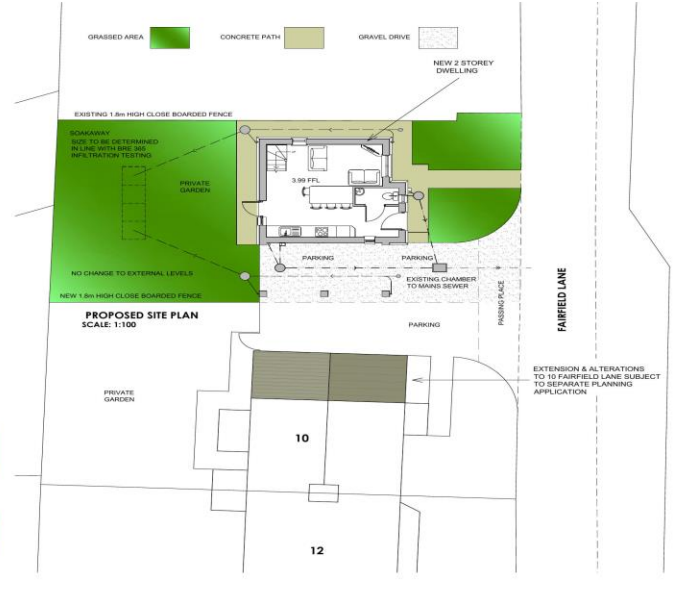
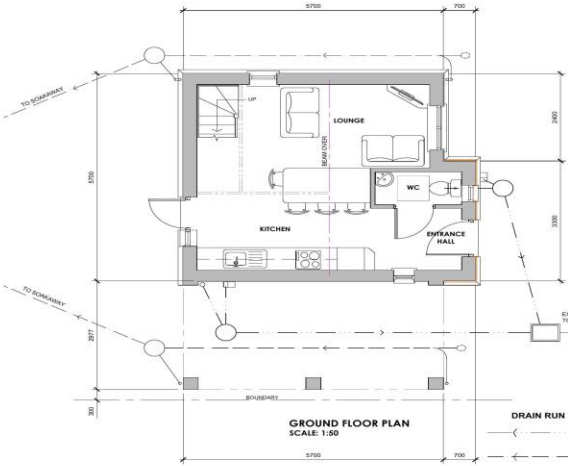
VERTICAL CEDAR CLADDING TO PROJECTION

RED FACING BRICK PLINTH RENDER FINISH ABOVE



FAIRFIELD LANE ACCESS ONTO STATION RD: DETAILS AS SET OUT ON SKETCH DETAILS SHOWN ON ROAD HIGHWAY AUTHORITY QUOTATION REF No. HW120199/VEHICLE/NE DATED 20.08.2020

SURFACE WATER TO BE INTERCEPTED AND DISPOSED OF SEPARATELY SO THAT IT DOES NOT DISCHARGE ONTO THE HIGHWAY



Project:
10 Fairfield Lane
Waltham
Kings Lynn
Norfolk
PE33 0JE

Client:
M

Title:
Plot Adjacent 10 Fairfield Lane
Proposed Floor Plans, Elevations,
Roof Plan, Site and Location Plan

Revision Details:
-

Issue Date: 29.04.22



South boundary and donor dwelling



West boundary and rear of No 8, 10, 12 Martin Close



North boundary



View southwest to site from No 4 Fairfield Lane



View south along Fairfield Lane



View north along Fairfield Lane



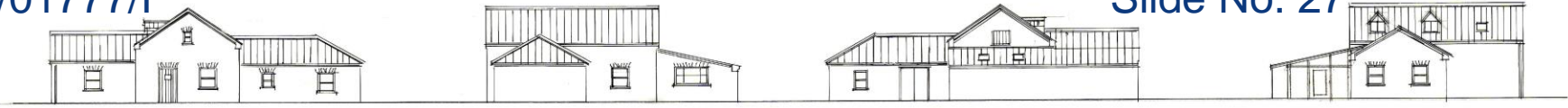
South boundary (rear of donor dwelling, No 10 Fairfield Lane)



North boundary (rear of No 4 Fairfield Lane)

22/01777/F

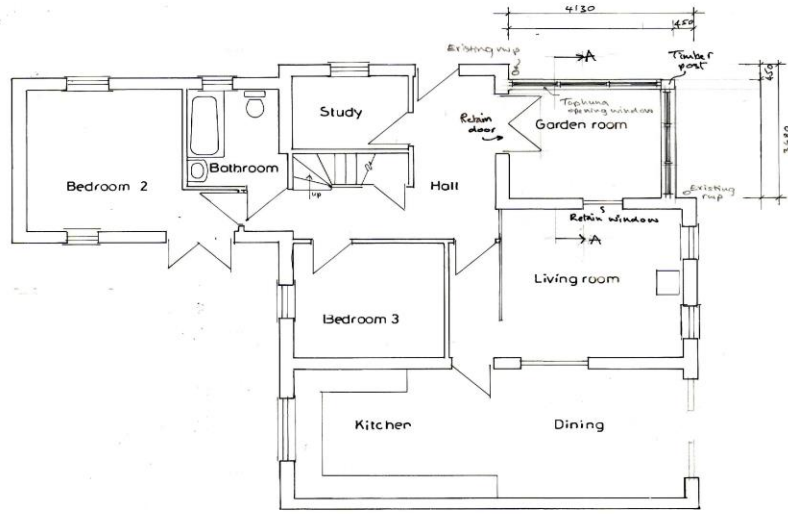




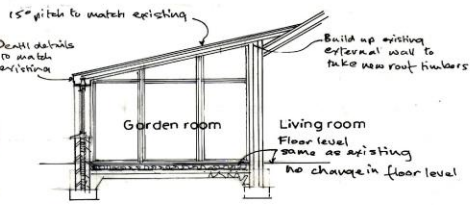
EXISTING FRONT ELEVATION SIDE SOUTH WEST REAR SOUTH EAST NORTH EAST



PROPOSED FRONT NORTH WEST SIDE no change REAR no change NORTH EAST



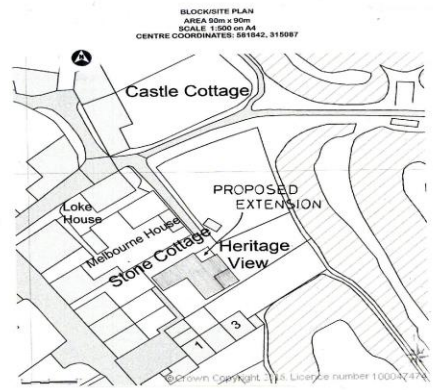
GROUND FLOOR PLAN



SECTION B - B



SITE LOCATION PLAN
AREA 2 HA
SCALE 1:1000 ON A4
CENTRE COORDINATES: 551838, 316071



BLOCK SITE PLAN
AREA 2.0m x 80m
SCALE 1:500 ON A4
CENTRE COORDINATES: 551842, 315987

Title	Garden Room Extension Heritage View Castle Square Castle Acre
Date	Sept 22
Scale	1:50 1:100
Amendments	
Drawn by	Helen Breach Architectural Design
Client	Heritage House Black Lane Castle Acre Norton, PE32 5JH breach@helenbreach.com 01763 735425
Drawn no.	P/237/22 - 1
Notes	This drawing is copyright. All dimensions must be checked on site. Work must have been approved. Discrepancies to be reported.



Views to the North East





View towards Castle Acre Castle



Garden Area



Existing extension to rear



Existing Rear Elevation



Rear Elevation



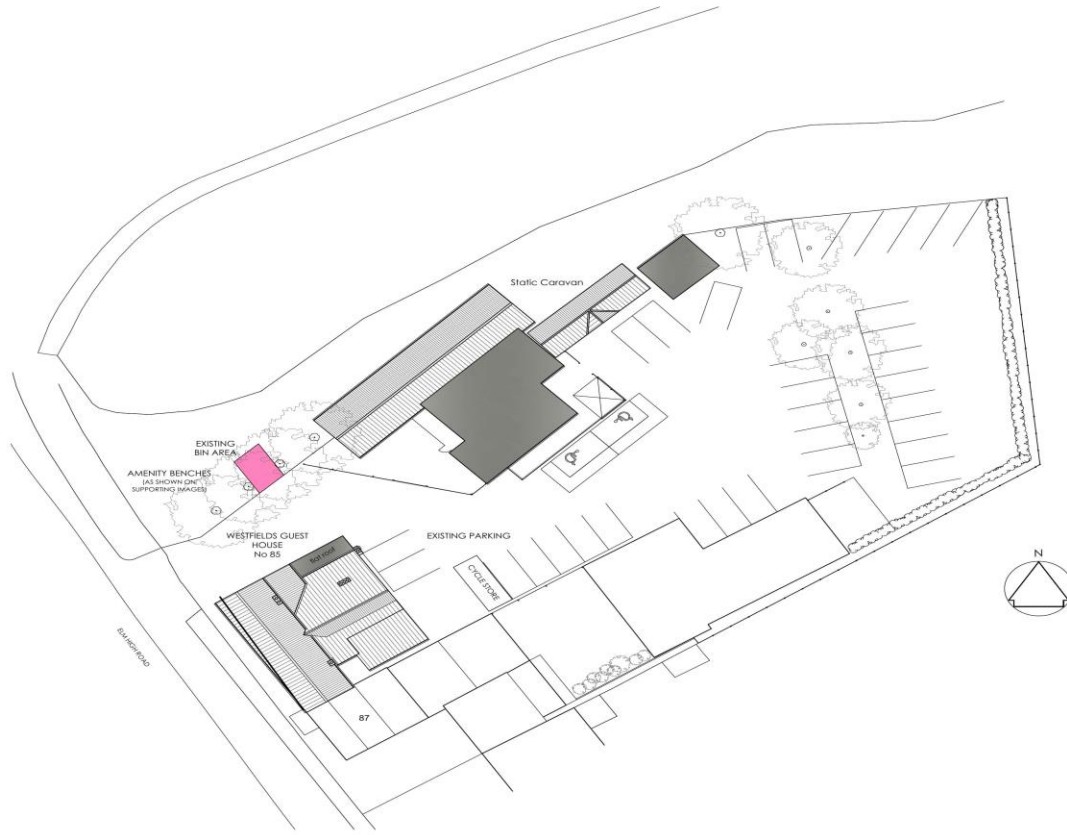
Boundary Treatment to the South West



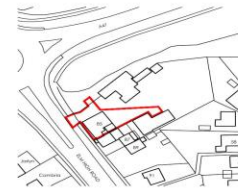
Entrance to Property

22/00875/CU



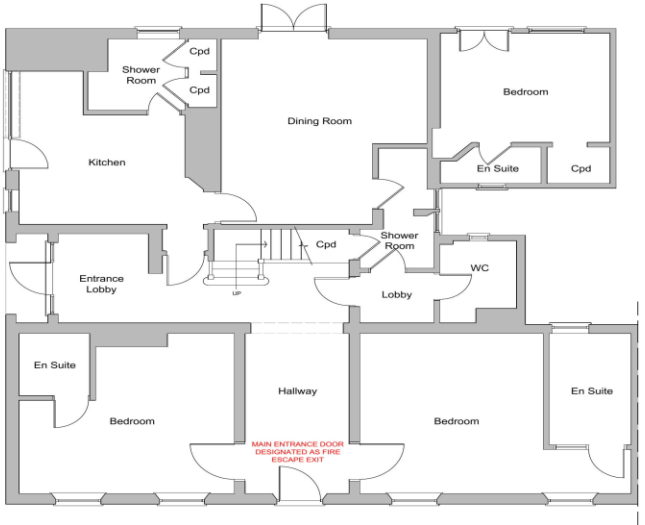


Site Plan 1:200

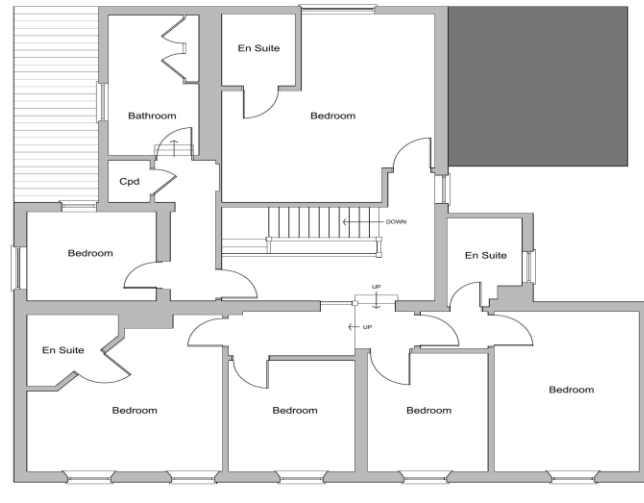


Location Plan 1:1250

DRAWING REVISIONS	
	
Hereward House Mill Road Emneth Wisbech Cambs PE14 8AE 07750681637	info@herewardservices.co.uk
INSPIRE ARCHITECTURAL	
WOODGATE HOUSE, HOLLYCROFT ROAD, EMNETH 01943 351442 07920 794449 inspirearchitectural@gmail.com	
PROJECT Change of Use to HMO Tudor House Wisbech	
DRAWING TITLE Site and Location Plans	
SCALE	as shown at A1
DATE	March 2022
DRAWN	STB
DRAWING NO	254 - 02 C



Ground Floor Plan 1:50



First Floor Plan 1:50

DRAWING REVISIONS	
	
Hereward House Mill Road Emneth Wisbech Cambs PE14 8AE info@herewardservices.co.uk 07756681637	
INSPIRE ARCHITECTURAL	
WOODGATE HOUSE, HOLLYCROFT ROAD, EMNETH 01943 351442 07920 794449 inspirearchitectural@gmail.com	
PROJECT Change of Use to HMO Tudor House Wisbech	
DRAWING TITLE Floor Plans	
SCALE	as shown at A1
DATE	March 2022
DRAWN	STB
DRAWING NO	254 - 01 B



View of south/front elevation from Elm High Road



View of west elevation from access point



Visibility looking eastwards from access point



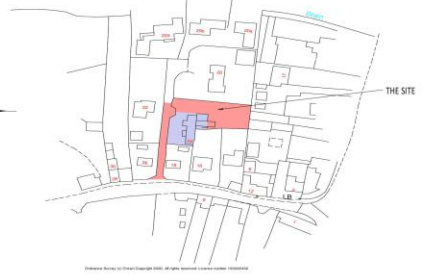
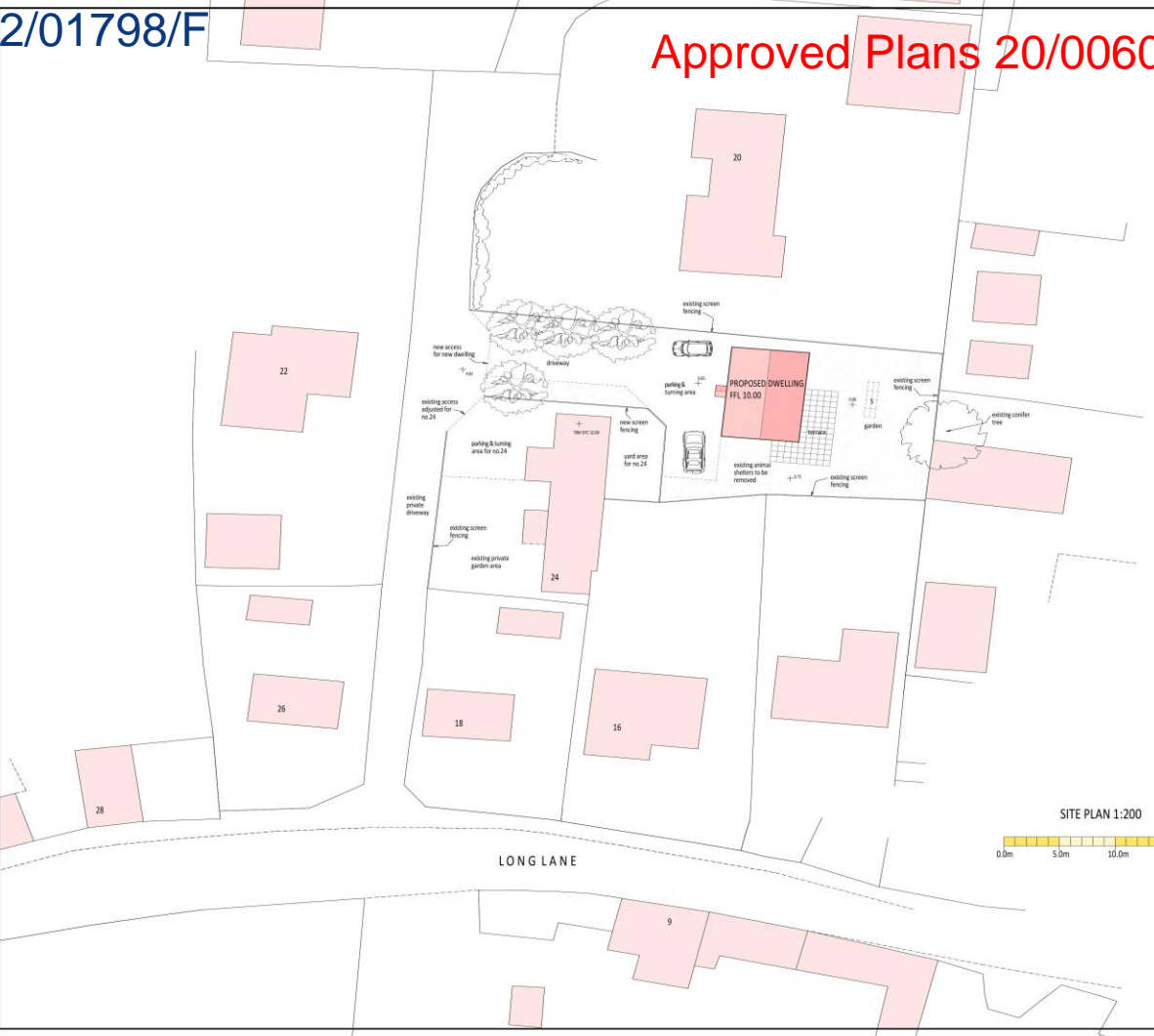
View westwards towards roundabout from access point



Rear/north view of the property

22/01798/F

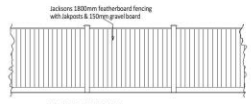




LOCATION PLAN 1:1250



TREE PLANTING:
 Callery pear (Pyrus calleryana 'Charitoides')
 Trees to be planted in rows approximately
 from minimum height 1.75-2.0m and
 maximum girth approx 100mm.



SCREEN FENCE DETAIL

SURFACING DETAILS:
 Driveway and turning area surfacing to be milled
 15mm gravel surfacing on compacted permeable
 base (2% edge levels to driveway with concrete
 base and haunching)
 Materials: Driveway: Priors permeable
 paving to terraces and paths.



Original drawing created using AutoCAD software. Original drawing size A1. Drawing scale shown

PROPOSED DWELLING ADJACENT
 24 LONG LANE
 FELTWELL
 IP26 4BJ

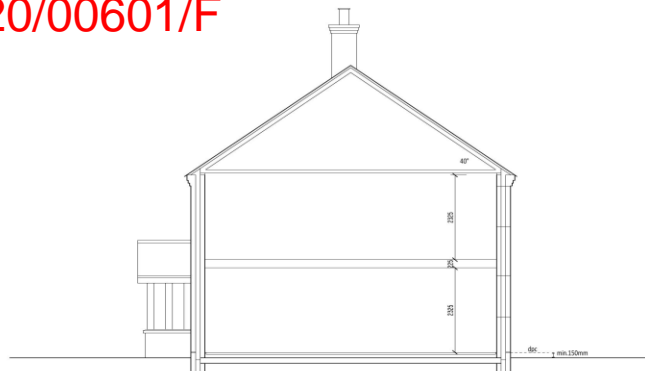
MIKE HASTINGS Building Design
 58 Sluice Road, Denver,
 Downham Market
 Norfolk PE38 5DY
 Tel: 01366 388715
 e-mail: mail@mikehastings.co.uk

Diag: 13662

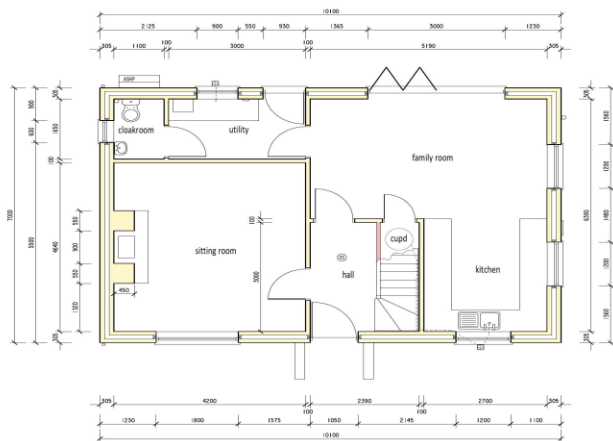
March 2020	



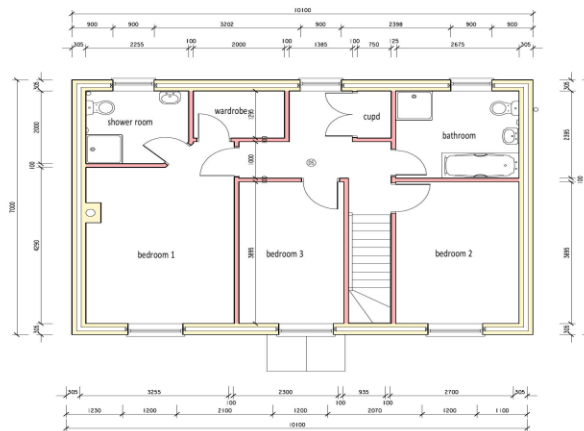
WEST ELEVATION



TYPICAL CROSS SECTION



GROUND FLOOR LAYOUT



FIRST FLOOR LAYOUT

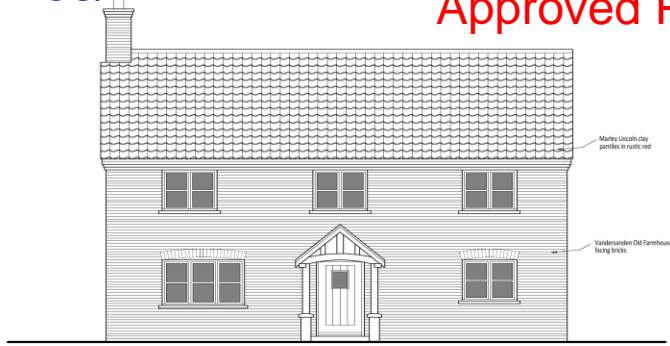
Original drawing created using AUTOCAD software. Original drawing size A1. Drawing scale 1:50.



PROPOSED DWELLING ADJACENT
24 LONG LANE
FELTWELL
IP26 4BJ

MIKE HASTINGS Building Design
58 Sluice Road, Denver,
Downham Market
Norfolk PE38 6DY
Tel: 01366 388715
e-mail: mail@mikehastings.co.uk

Drawn	March 2020
13663	



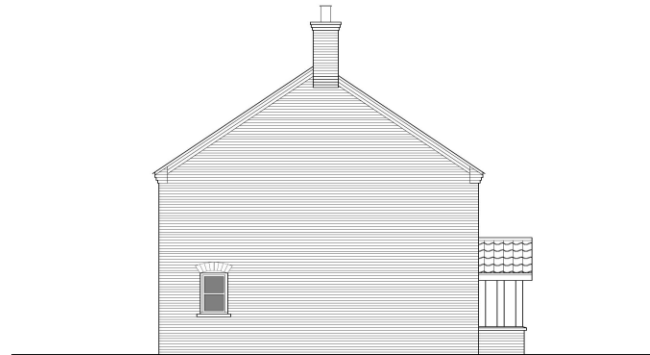
WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION

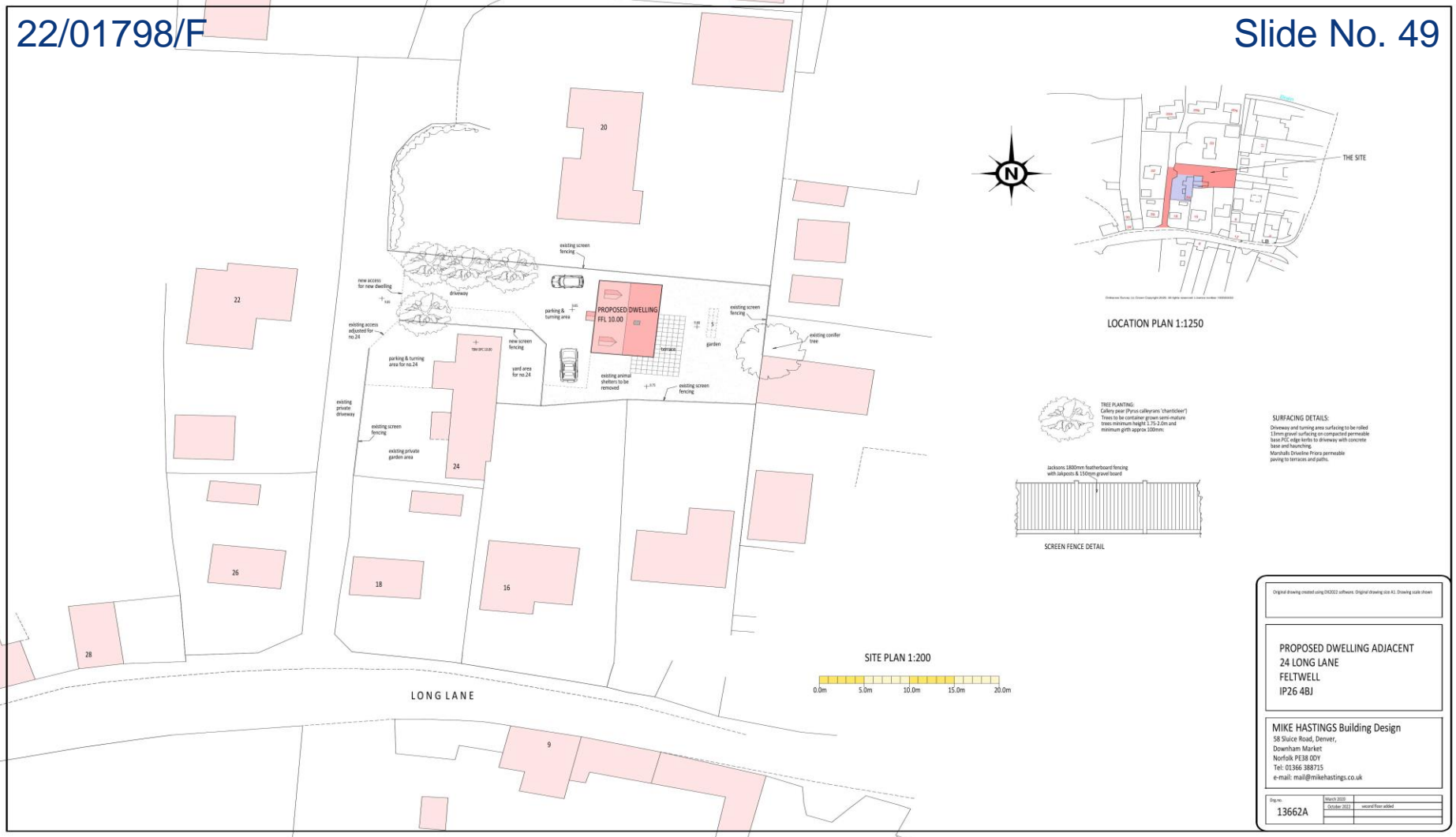
Original drawing created using AUTOCAD software. Original drawing size A1, Drawing scale 1:50.



PROPOSED DWELLING ADJACENT
24 LONG LANE
FELTWELL
IP26 4BJ

MIKE HASTINGS Building Design
58 Sluice Road, Denver,
Downham Market
Norfolk PE38 5DY
Tel: 01366 388715
e-mail: mail@mikehastings.co.uk

Drawn	March 2022
13664	

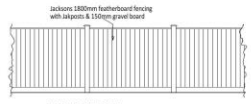


LOCATION PLAN 1:1250



TREE PLANTING:
Gully oak (*Prunus coccinea* 'hambrick')
Trees to be planted at regular intervals
Trees minimum height 1.75-2.0m and
minimum girth approx 100mm.

SURFACING DETAILS:
Driveway and turning area surfacing to be rolled
30mm gravel surfacing on compacted permeable
base (P.C. edge kerbs to driveway with concrete
base and haunching.
Marbleite Driveway. Pavers permeable
paving to terraces and paths.



SCREEN FENCE DETAIL

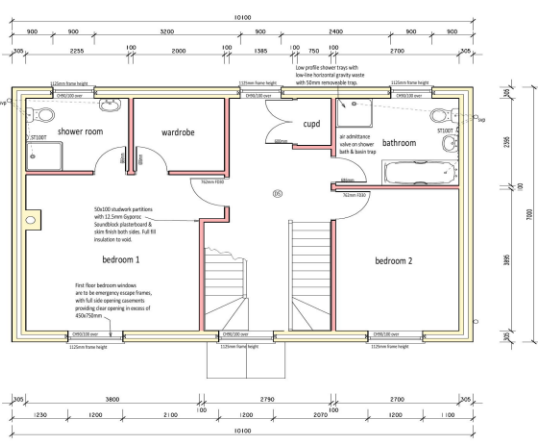
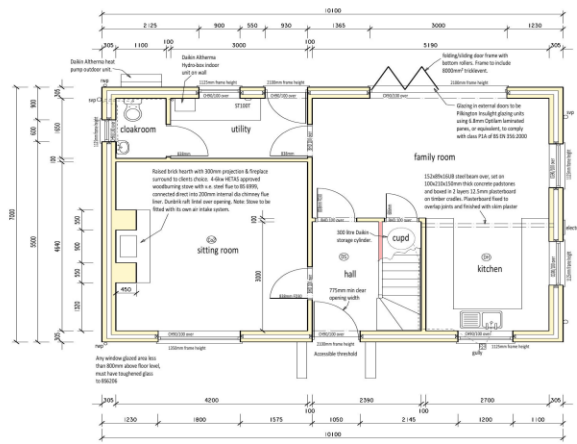
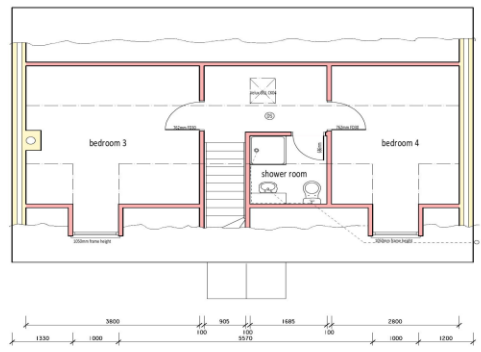
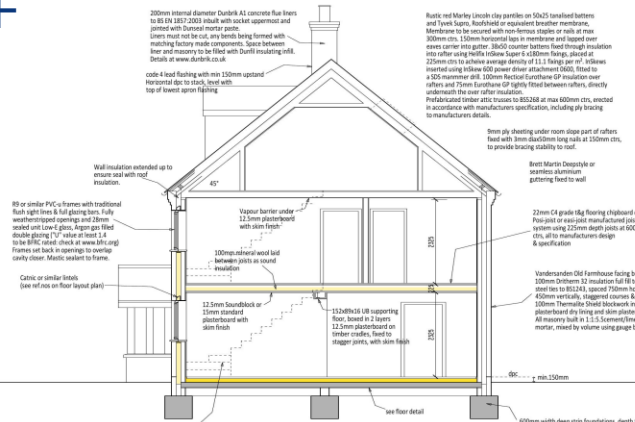


Original drawing created using AUTOCAD software. Original drawing size A1. Drawing scale shown.

PROPOSED DWELLING ADJACENT
24 LONG LANE
FELTWELL
IP26 4BJ

MIKE HASTINGS Building Design
58 Sluice Road, Denver,
Downham Market
Norfolk PE38 6DY
Tel: 01366-388715
e-mail: mail@mikehastings.co.uk

Dip no:	March 2020	Issued for addit
	October 2021	
13662A		



The Construction Design and Management Regulations 2013 under the CDM regulations, the designer has a duty to ensure that the design poses no foreseeable or significant health and safety risks for the construction of the building. Where foreseeable risks have been identified and where it has not been possible to avoid them, information for the contractor, to reduce and control risk, has been added to the drawings.

Original drawing issued using DCC/D3 software. Original drawing title: A1 Drawing title: 13.6.

0 0.5 1.0 2.0 3.0 4.0m

PROPOSED DWELLING ADJACENT
24 LONG LANE
FELTWELL
IP26 4BJ

MIKE HASTINGS Building Design
 58 Sluce Road, Denver,
 Downham Market
 Norfolk PE38 5DY
 Tel: 01366-388715
 e-mail: mail@mikehastings.co.uk

Drawn	Check	Issue	Date
13663A		1	March 2022
		2	June 2022
		3	October 2022

Drawn: 13663A Check: Issue: Date:



WEST ELEVATION



EAST ELEVATION

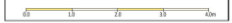


SOUTH ELEVATION



NORTH ELEVATION

Original drawing created using AUTOCAD software. Original drawing size A1. Drawing scale 1:50.



PROPOSED DWELLING ADJACENT
24 LONG LANE
FELTWELL
IP26 4BJ

MIKE HASTINGS Building Design
58 Sluice Road, Denver,
Downham Market
Norfolk PE38 6DY
Tel: 01366 388715
e-mail: mail@mikehastings.co.uk

Dip No: 13664A	March 2021	
	October 2021	second floor added



Application site viewed from private track looking east

22/01798/F



Neighbouring dwelling No. 20 Long Lane to the north



South boundary and rear of dwellings fronting Long Lane

22/01798/F



Extant permission foundations and rear boundary of site

22/01798/F



Foundations in relation to Windows on No. 20 to north

22/00065/F





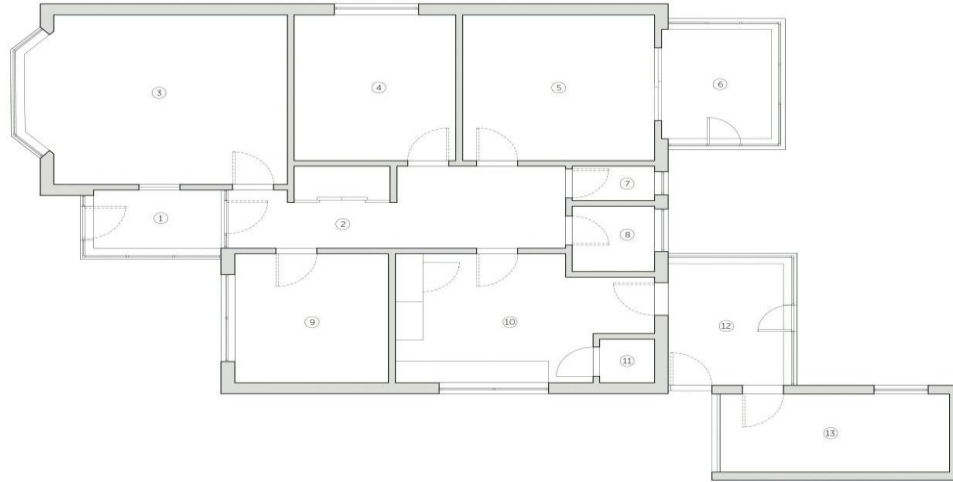
REV	DATE	NOTES
P1	30.09.20	ISSUED FOR PLANNING

DRAWN	PROJECT	Replacement Dwelling Peddars Way Holme	TITLE	Location Plan
CHECKED	SCALE	@A1 1: - / @A3 1:1000	DATE	September 2020
	NO	2016 - 001	REV	P1



EXISTING FLOORPLANS

KEY	
1	Porch
2	Hallway
3	Living
4	Bedroom 1
5	Dining Room
6	Conservatory
7	WC
8	Bathroom
9	Bedroom 2
10	Kitchen/ Dining
11	Store
12	Porch
13	Garage



REV	DATE	NOTES
P1	30.09.20	ISSUED FOR PLANNING

DRAWN
-

PROJECT Replacement Dwelling Peddars Way Holme

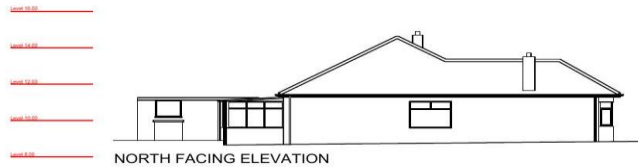
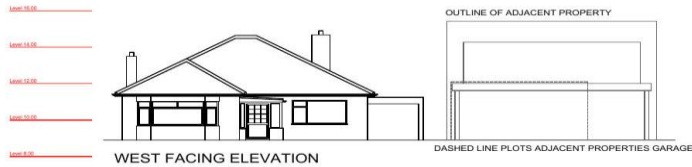
TITLE Existing Plans

CHECKED
-

SCALE @A1 1: N/A / @A3 1: 100 DATE September 2020

NO 2016 - 010 REV P1

EXISTING ELEVATIONS



Drawn by: JH	Reviewed by: JH	Checked by: JH
Date:	June 2020	
Scale:	1:200	
Drawing Number:	ALS8759/200/01 Elevations	
Client:	Cowpar Griffith Architects	
Project:	Holme - next - the - sea Peddars Way	

Approved By:



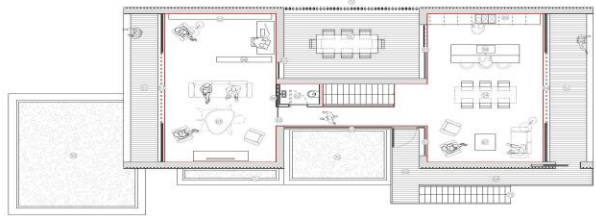
Angia Land Surveys Ltd

Norwich Office: 30 Gledyng Court, Taverham, Norwich NR8 6LZ
 Suffolk Office: 143 Denmark Road, Botesdale, Suffolk NR34 9GU

Tel: 01603 748603
 Email: info@angia-surveys.com
 Website: www.angia-surveys.com

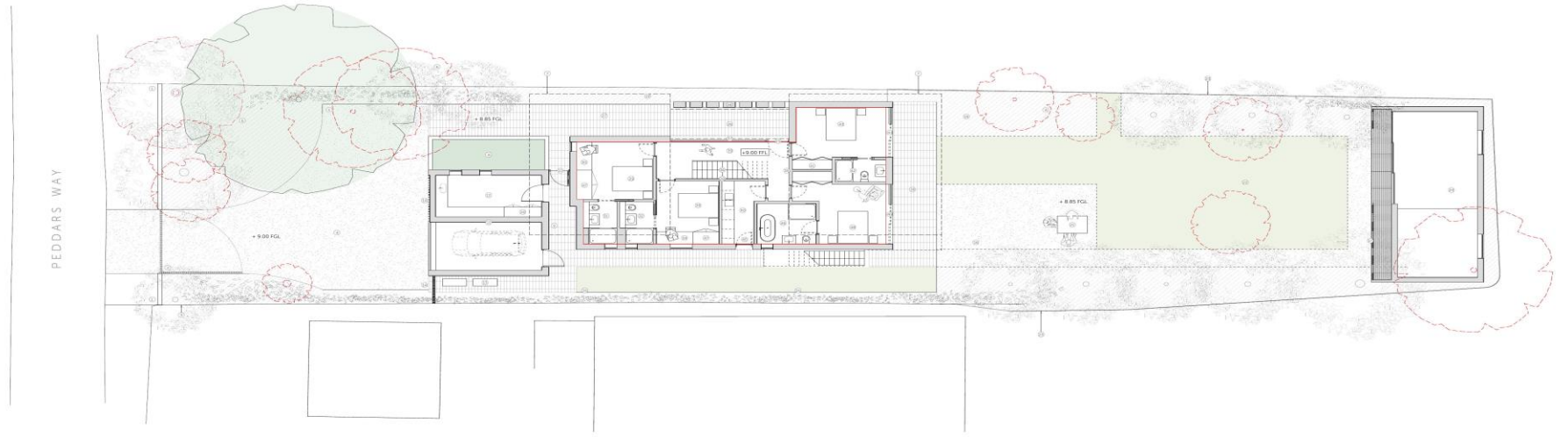


- Existing tree removed
- Proposed tree
- Existing levels
- Proposed levels



- | | | |
|---|--|---|
| <ol style="list-style-type: none"> 1 New low boundary wall 2 New timber lattice gate between boundary walls 3 Low level timber fence to boundary 4 Driveway 5 Turning head for cars 6 Existing low grade fence removed, replaced with new planting 7 Overhang/covered first floor or screen house screen element 8 External garden low level wall 9 First floor of new house overlooking front of garden 10 Lockable gate to access rear garden 11 Garage extension to back single storey 12 Utility, bedroom and wall above 13 Location for heat pump 14 Timber deck system 15 Parking bay 16 External case providing access between first floor terrace and rear garden 17 Timber door screen 18 Covered parking terrace 19 Parking bay 20 Storage 21 External drying area 22 Glass screen back area 23 Timber fence to boundary 24 Garden screen | <ol style="list-style-type: none"> 25 Privacy glassed front door 26 Entrance lobby 27 Covered entrance porch 28 Rear-mounted screen element full height of house 29 Bedroom 1 30 Integrated wardrobe in main bedroom 31 Ensuite for Bedroom 1 32 Ensuite for Bedroom 2 33 Bedroom 2 34 Integrated wardrobe in main bedroom 35 Dress and linen storage 36 Polished concrete slab 37 Glazing to entrance lobby 38 Brick to first floor wall with terrace openings 39 Hallway 40 Laundry room 41 Walk in wardrobe 42 Ensuite for Master Bedroom 43 Master Bedroom 44 External walkway 45 Sliding backing glass doors to access morning terrace 46 Closed side door to laundry room 47 Family Bathroom 48 Bathroom 49 Sliding backing glass doors to access morning terrace | <ol style="list-style-type: none"> 50 Green screen for roof over garage utility 51 External terrace to full width of first floor 52 Backscreen 53 Full height structural glazing screen 54 Dining area 55 Linear low height utility 56 Medium screen screen to open over screen 57 Sliding backing glass screen to access terrace 58 Backscreen (screen to cover off living room) 59 Full height window 60 Office study 61 FF slab 62 Front door screen 63 Sliding backing glass screen to access terrace 64 Covered sitting area to access terrace 65 Timber decking external access to FF slab 66 Sliding backing glass 67 External walkway 68 Timber screen gate to screen 69 Revised full green roof 70 Lower level of green roof 71 Sliding timber door to first floor 72 External door to access rear garden terrace |
|---|--|---|

FIRST FLOOR PLAN



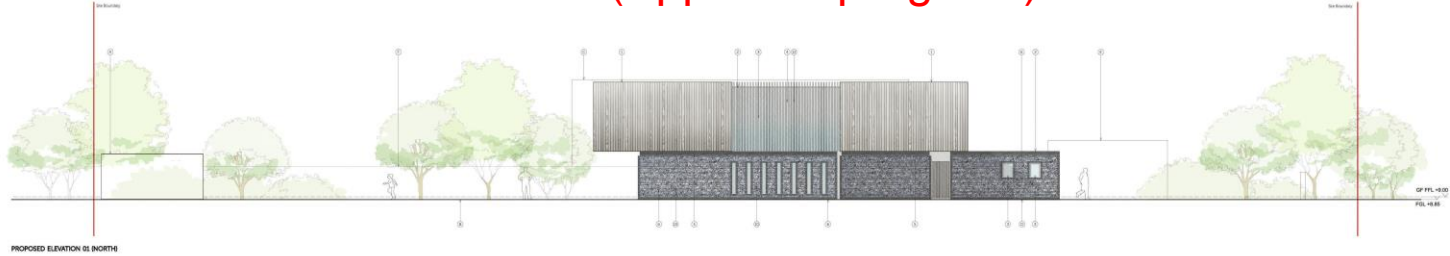
SITE PLAN/ GROUND FLOOR PLAN

DO NOT SCALE FROM THE DRAWING AND CHECK ALL DIMENSIONS ON SITE
 THE DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT INFORMATION FROM OTHER CONSULTANTS

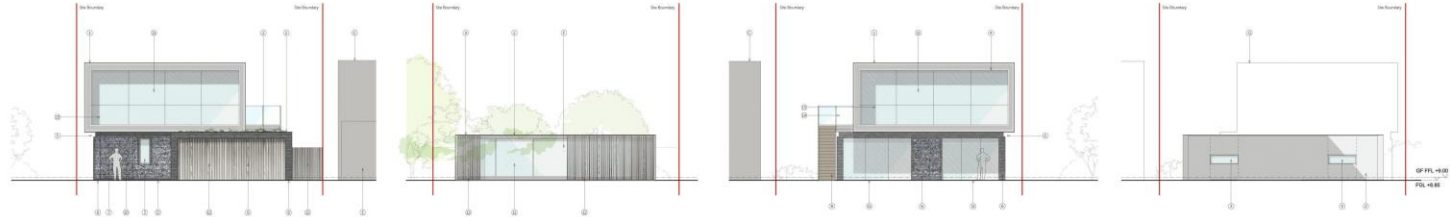
REV	DATE	NOTES
01	20.09.20	ISSUED FOR PLANNING
02	24.02.20	REQUIRED FOR PLANNING
03	JULY 2021	REQUIRED FOR PLANNING

DRAWN PG	PROJECT Replacement Dwelling Peddars Way Helmie	TITLE Proposed Plans FOR PLANNING
CHECKED AS	SCALE @ A1: 1:100 @ A2: 1:	DATE September 2020
	NO	REV 01

cowper griffith architects
 15 HIGH STREET WHITLESFORD CAMBRIDGE CB3 4LT
 www.cga.org.uk



PROPOSED ELEVATION 03 (NORTH)



PROPOSED ELEVATION 02 (WEST)

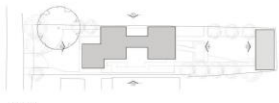
PROPOSED ELEVATION 03 (WEST)

PROPOSED ELEVATION 04 (EAST)

PROPOSED ELEVATION 05 (EAST)



PROPOSED ELEVATION 06 (SOUTH)



KEY PLAN

KEY TO MATERIALS

- 1. Unadorned brick or stone cladding
- 2. Red concrete paving / decking
- 3. Slate or tile roof cladding
- 4. Porcelain or natural stone paving
- 5. Resealed brick / stone cladding
- 6. Blockwork with first landing level
- 7. Coloured window frame
- 8. External wall with stone cladding
- 9. Timber garage door
- 10. Timber frame screen
- 11. Single glaze aluminium window
- 12. Vertical timber slat screen
- 13. Glass balustrade
- 14. Stained / painted
- 15. Green roof

KEY TO CONTEXT

- A. Indicate position of garden (shrub) walls
- B. Street / outdoor living bench area
- C. Outline of neighbouring building
- D. Existing or proposed trees
- E. Outline of neighbouring garage block
- F. Outline of fence boundary fence
- G. Outline of proposed driveway / carport

DO NOT SCALE FROM THE DRAWING AND CHECK ALL DIMENSIONS ON SITE
THE DRAWING IS TO BE USED IN CONSTRUCTION WITH ALL OTHER RELEVANT INFORMATION FROM OTHER CONSULTANTS

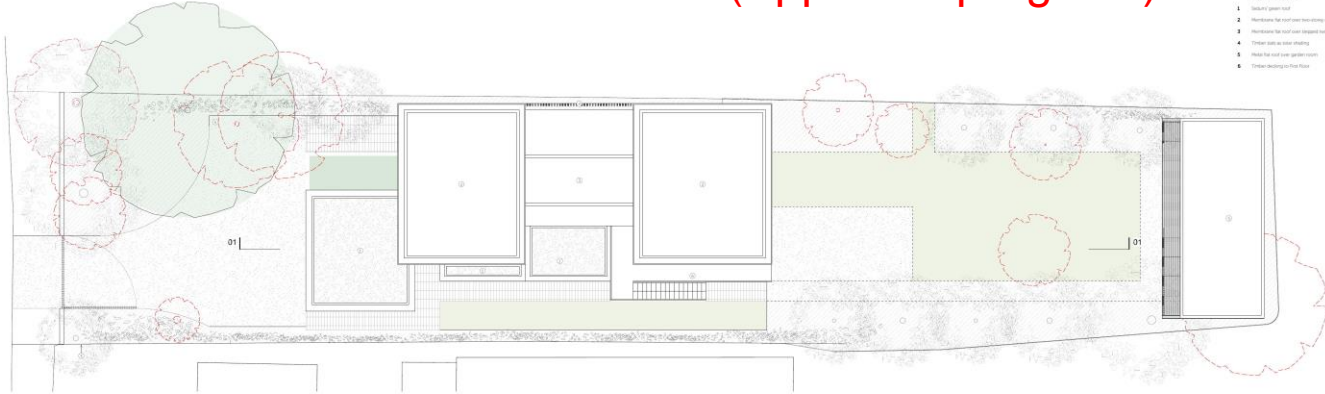
REV	DATE	NOTES
01	08/08	ISSUED FOR PLANNING
02	08/08	ISSUED FOR PLANNING
03	08/08	ISSUED FOR PLANNING

DRAWN	PROJECT	Replacement Dwelling	TITLE	Proposed Elevations
MS		Public Way Home		FOR PLANNING
CHECKED	SCALE	1:100 (0:1)	DATE	August 2022
AC			NO	2016 - 110 REV: PS

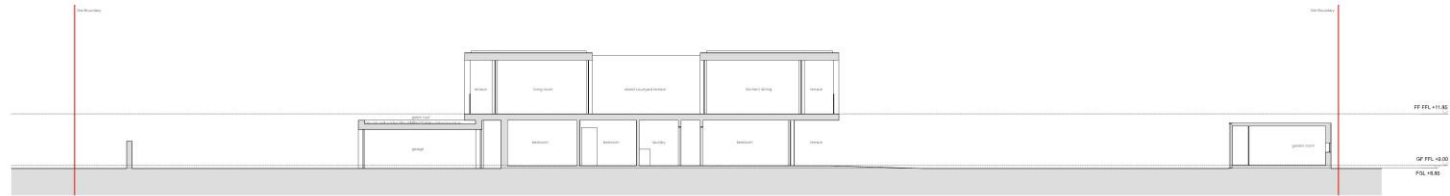
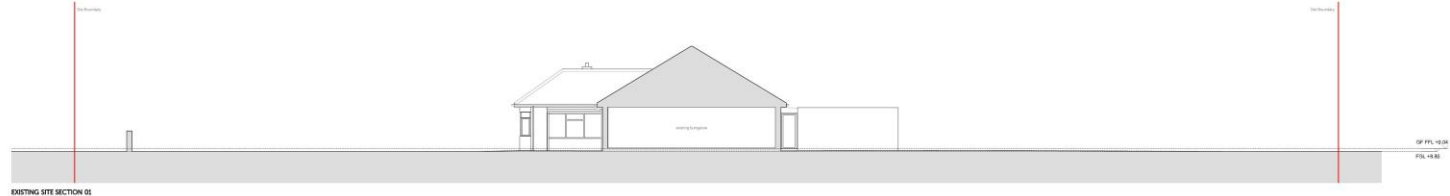
cowper griffith architects

COWPER GRIFFITH ARCHITECTS LLP
15-16A FREEPORT WAY, CAMBRIDGE CB2 4T
www.cowpergriffith.co.uk

- REV TO ROOF PLAN
- 1. Update green roof
 - 2. Amend the roof area to show correct
 - 3. Amend the roof area to show correct
 - 4. Update the roof area to show correct
 - 5. Update the roof area to show correct
 - 6. Update the roof area to show correct



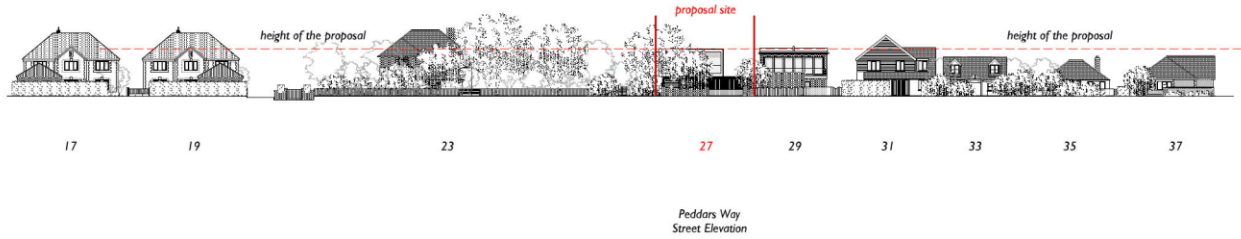
ROOF PLAN



DO NOT SCALE FROM THE DRAWING AND CHECK ALL DIMENSIONS ON SITE
THE DRAWING IS TO BE USED IN CONJUNCTION WITH ALL OTHER RELEVANT INFORMATION FROM OTHER CONSULTANTS

REV	DATE	NOTES
01	20/08/20	ISSUED FOR PLANNING
02	06/09/20	REVISED FOR PLANNING
03	24/07/20	REVISED FOR PLANNING

DRAWN	PROJECT	Replacement Dwelling Public Way Home	TITLE	Proposed Roof Plan & Site Sections
CHECKED	SCALE	1:100 (G1)	DATE	20/08/20
			NO	2016-111 REV: 03



DO NOT SCALE FROM THIS DRAWING AND CHECK ALL DIMENSIONS ON SITE
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT INFORMATION FROM OTHER CONSULTANTS

REV	DATE	NOTES

DRAWN	PROJECT	TITLE
NS	Replacement Dwelling Peddars Way	Street View Proposed

CHECKED	SCALE @ A1 1/4" @ A3 1/500	DATE	NO	REV
AS		July 2021	2016 / 112	P2

cowper griffith architects

COWPER GRIFFITH ARCHITECTS LLP
23 HIGH STREET WHITLESBORO CAMBRIDGE CB22 4LT
www.cowpergriffith.co.uk

LANDSCAPE LEGEND

	Existing tree retained
	Existing tree removed
	Proposed tree
	Existing levels
	Proposed levels

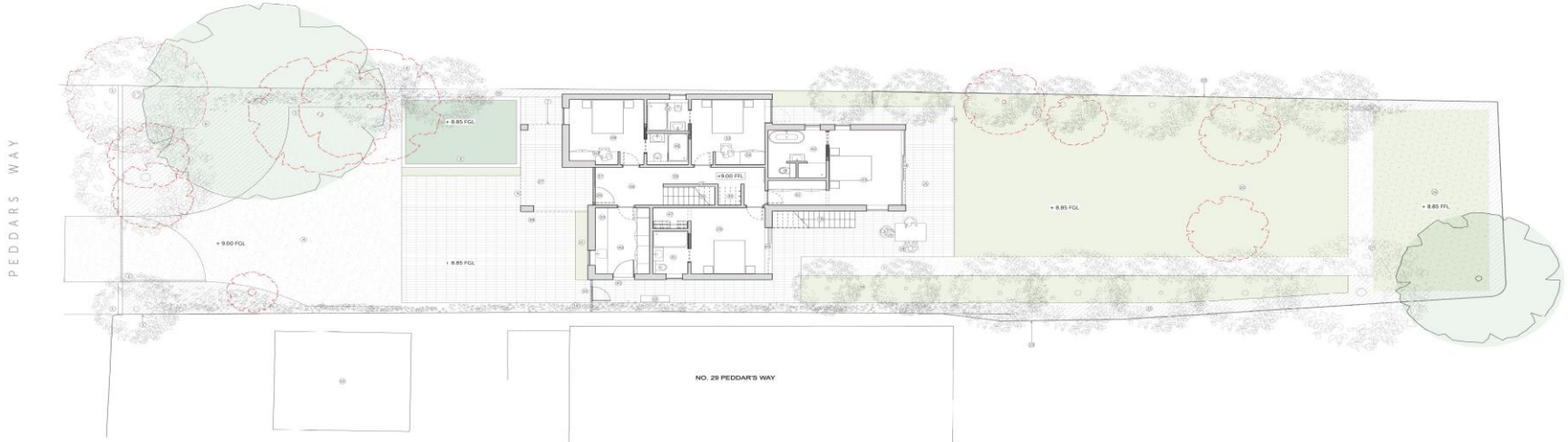
KEY TO PLANS

- Site**
1. Trench line boundary wall
 2. New timber side gate (between boundary walls)
 3. Low level timber fence to boundary
 4. Driveway
 5. Tarmac road for cars
 6. Existing low grade trees removed, replaced with new screen planting
 7. First floor of new house shown detailed
 8. Terrace garden
 9. First floor of new house overlooking
 10. Lockable gate to access rear garden
 11. Front planting border
 12. Neighbouring single vehicle garage
 13. Location for heat pump
 14. Timber oak screen
 15. Planting bed
 16. External rear overhanging access between front house terrace and rear garden
 17. Timber oak screen to garden room
 18. External 'warming' terrace
 19. Proposed new steps
 20. Storage cabinet
 21. House bedroom terrace
 22. Clearwooden deck area
 23. Timber fence to boundary
 24. Wood massive planting



- Ground Floor**
25. Existing ground floor door
 26. Entrance lobby
 27. Hard entrance
 28. Reinforced concrete staircase (full height of house)
 29. Bedroom 1
 30. Integrated wardrobe to sleep primary space
 31. En-suite to Bedroom 1
 32. En-suite to Bedroom 2
 33. Bedroom 2
 34. Integrated wardrobe to sleep primary space
 35. Shoes and coats storage under stairs
 36. Insulated concrete slab
 37. Ceiling to entrance lobby
 38. Brick column
 39. Halfway
 40. Living room
 41. Walk-in wardrobe
 42. Reception (to Music Room)
 43. Music Room
 44. Sliding matching glass doors to access 'warming' terrace
 45. Glass secondary entrance door
 46. En-suite to guest bedroom
 47. Washroom
 48. Guest Bedroom
- First Floor**
50. Clombed glass to view entrance
 51. External terrace to full width of first floor glass planting
 52. Study
 53. Full height structure glazing screen
 54. Dining area
 55. Linear kitchen gallery units
 56. Kitchen island centre to open plan space
 57. Sliding matching glass screen to access terrace
 58. Primary screen
 59. Pocket door to close off living room
 60. Fireplace
 61. Toilet
 62. F4 WC
 63. Living room
 64. Porch
 65. Under decking
 66. Flat green roof
 67. External rear to access rear garden below

FIRST FLOOR PLAN



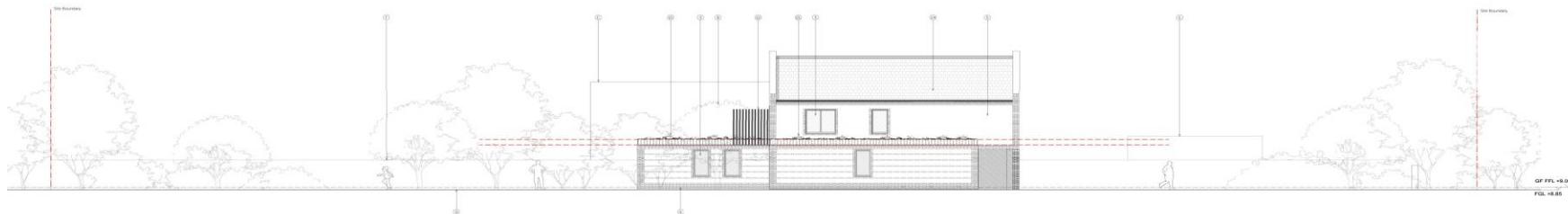
SITE PLAN/ GROUND FLOOR PLAN

DO NOT SCALE FROM THIS DRAWING AND CHECK ALL DIMENSIONS ON SITE
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER INFORMATION FROM OTHER CONSULTANTS

REV	DATE	NOTES
P1	01.03.20	ISSUED FOR PERMITTING
P2	04.02.20	ISSUED FOR PERMITTING
P3	26.11.2021	ISSUED FOR PERMITTING
P4	SEPT 2022	ISSUED FOR PERMITTING - showing reduction in GFA
P5	JUN 2022	ISSUED FOR PERMITTING - design changes
P6	JUN 2022	ISSUED FOR PERMITTING - design changes
P7	SEPT 2022	ISSUED FOR PERMITTING - variations

DRAWN	MS	PROJECT	Replacement Dwelling Peddars Way Hoddest	TITLE	Proposed Plans FOR PERMITTING
CHECKED	AS	SCALE	#A1: 1:100 @ A1	DATE	September 2020
				NO	2016-100 REV P7

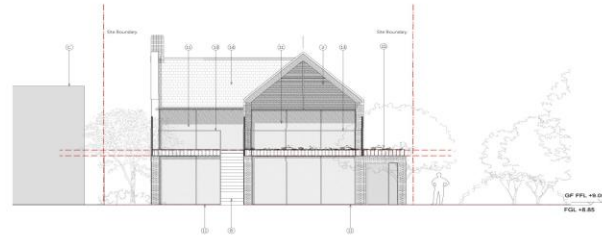




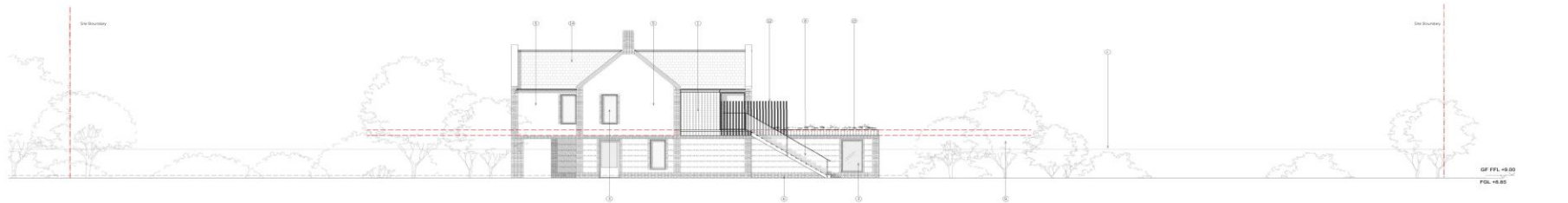
PROPOSED ELEVATION G1 (NORTH)



PROPOSED ELEVATION G2 (WEST)



PROPOSED ELEVATION D4 (EAST)



PROPOSED ELEVATION G6 (SOUTH)

- KEY TO MATERIALS**
- 1 Vertical timber cladding
 - 2 Timber sash window frames
 - 3 Semi-profile metal window
 - 4 Extruded structural glass system
 - 5 Random cobblestones
 - 6 Brick pavers
 - 7 Redwood or European larch
 - 8 External storage with green metal finish
 - 9 Timber garage door
 - 10 Glass partition to upper balcony
 - 11 Slim profile metal sliding doors
 - 12 Semi-profile metal window
 - 13 Semi-profile metal window
 - 14 Grey natural slate gable roof covering
 - 15 Green roof
 - 16 Timber slatted screen with glass

- KEY TO CONTEXT**
- A Indication position of garden studio office
 - B New external site lighting to north boundary
 - C Outline of neighbouring building
 - D Lower level garage to basement
 - E Outline of neighbouring garage block
 - F Outline of new boundary fence
 - G Outline of proposed dwelling in background

DO NOT SCALE FROM THIS DRAWING AND CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT INFORMATION FROM OTHER CONSULTANTS

REV	DATE	NOTES
P1	08.08.20	ISSUED FOR PLANNING
P2	04.02.20	REQUESTED FOR PLANNING
P3	20.11.2022	REQUESTED FOR PLANNING
P4	JAN 2023	REQUESTED FOR PLANNING - design changes
P5	JUN 2022	REQUESTED FOR PLANNING - design changes
P6	SEP 2022	REQUESTED FOR PLANNING - variations



DRAWN MS	PROJECT Replacement Dwelling Redden Way Holme	TITLE Proposed Elevations FOR PLANNING	NO 2016-110	REV 06
CHECKED AS	DRAWN BY cowper griffith architects		OWNER GRIFFITH ARCHITECTS LLP 33 HIGH STREET WHITTLESPOND CAMBRIDGE CB22 4LT www.cowpergriffith.co.uk	





*Peddars Way
Street Elevation*

DO NOT SCALE FROM THIS DRAWING AND CHECK ALL DIMENSIONS ON SITE
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT INFORMATION FROM OTHER CONSULTANTS

REV	DATE	NOTES
P3	JAN 2022	Design revision.
P4	06/09/2022	Design revision to show traditional scheme.
P5	28/10/2022	Design revision omitting garage.

DRAWN	PROJECT	TITLE
NS	Replacement Dwelling Peddars Way	Street View Proposed
CHECKED	SCALE @ A1:1/N/A / @ A3 1:500	DATE July 2021
AS		NO 2016 / 112 REV P5

22/00065/F



Existing bungalow



Existing bungalow and neighbouring property 'Skyfall' to south



Neighbouring property 'Skyfall' to south and beyond

22/00065/F



Neighbouring property 'Skyfall' to south

22/00065/F



Facing north towards application site with neighbouring property in context

22/00065/F



Private track along the northern boundary of the site – side of existing bungalow



Neighbouring property to the north 'Fairdale House' No.23



Separation between 'Fairdale House' and the application site

Application site



Context facing south towards the application site from Peddars Way



Existing bungalow and neighbouring property 'Skyfall'

22/00065/F



Facing north within the application site's frontage



Facing west towards access within application site's frontage

22/00065/F



Southern boundary between the existing bungalow and 'Skyfall'



Northern flank elevation of existing bungalow bounding the private track



Rear garden of application site taken from track facing south



Rear garden of application site facing south towards 'Skyfall'

22/00065/F

Slide No. 84



Taken from track facing S/W towards existing bungalow and 'Skyfall'



Rear of application site facing south

Speakers Slide

Jacqueline Budenberg







Speakers Slide Wendy Norman



ORIGINAL AONB STREET SCENE

- LEAFY RURAL LANE AND WIDE OPEN SKIES
- TREES & HEDGES DOMINATE
- WESTFIELD BUNGALOW SITS COMFORTABLY IN LANDSCAPE

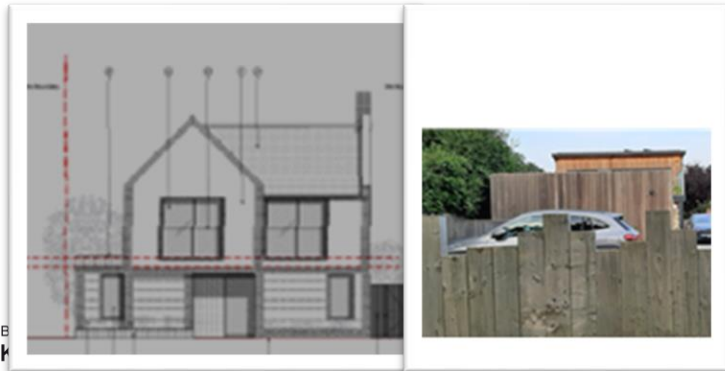
22/00065/F

**NEIGHBOURING REPLACEMENT DWELLING**

- LOSS OF RURAL LANDSCAPE AND OPEN SKYSCAPE
- BUILDING DOMINATES STREET SCENE
- PARKED CARS DOMINATE 'GARDEN' SPACE
- URBANISATION...

PROPOSED REPLACEMENT DWELLING

- AS MEMBERS PREVIOUSLY COMMENTED –
- 'DOMINANT BUILDINGS' & 'DOMINO EFFECT' THREATEN OUR AONB LANDSCAPE
- TOO LARGE - FINE BUILDING BUT WRONG LOCATION
- TWO WRONGS DON'T MAKE A RIGHT!



Speakers Slide Clare Thorogood



Appendix 1 - Street Scene on Peddars Way



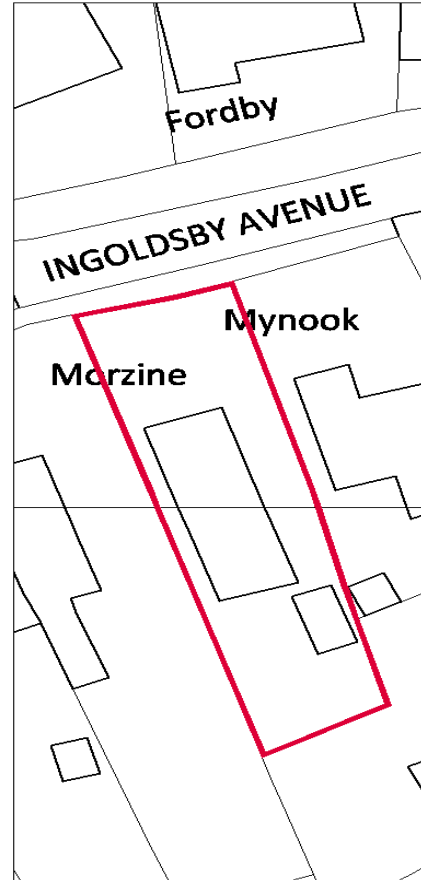
22/01813/F



22/01813/F



Location Plan 1:1250



Site Plan 1:500



Notes:

REVISION	DATE	AMENDMENT

ALL INFORMATION ON THIS PLAN IS BASED ON THE ORIGINAL ASSESSMENT INFORMATION PROVIDED BY THE CLIENT. SWORDERS PLANNERS ARCHITECTS ACCEPTS NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS INFORMATION. SWORDERS PLANNERS ARCHITECTS WILL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS INFORMATION.



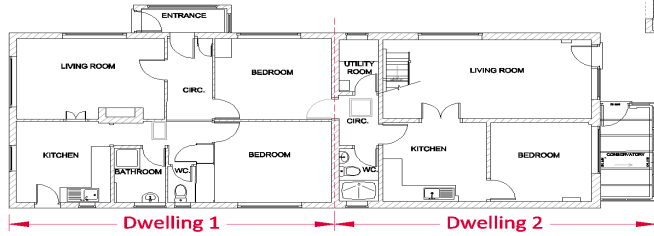
SURVEYORS | PLANNERS | ARCHITECTS
 NORTFOLK | NORFOLK (WAWBYCKS HIRE) | SOMERSET
 Phone: 01274 773338 | Email: post@sworders.com

SCHEME:
SPLIT DWELLING
MORZINE INGOLDISTHORPE PE31 6NH

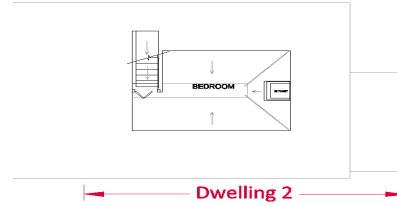
TITLE:
SITE AND
LOCATION PLAN

SCALE	1:500	DATE	25/09/22	PROJECT	MR	31/08/22
CLIENT NO.	HIP 3118	DRAWING NO.	222328 PL 001	REVISION	/	/

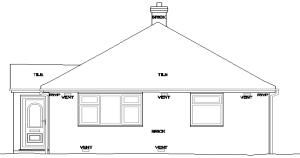
© Copyright 2022, reserved. All rights reserved. The contents of this drawing remain the property of Sworders and must not be copied or reproduced without prior permission.



Ground floor plan

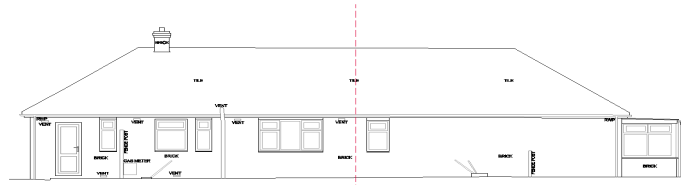


First floor plan



Datum 6.00m

North Elevation
Dwelling 1



Datum 6.00m

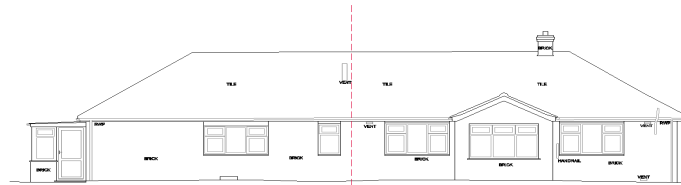
East Elevation
Dwelling 1

Dwelling 2



Datum 6.00m


South Elevation
Dwelling 2




Datum 6.00m

West Elevation
Dwelling 2


Dwelling 1





REVISION	DATE	AMENDMENT
/	25/06/22	FIRST DRAFT

ALL DIMENSIONS UNLESS OTHERWISE STATED TO BE IN ACCORDANCE WITH THE BUILDING REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.



SURVEYORS | PLANNERS | ARCHITECTS
 HEREFORDSHIRE | NORWICH | WARWICKSHIRE | SOMERSET
 Phone: 01779 777488 | E-mail: jason@sworders.com

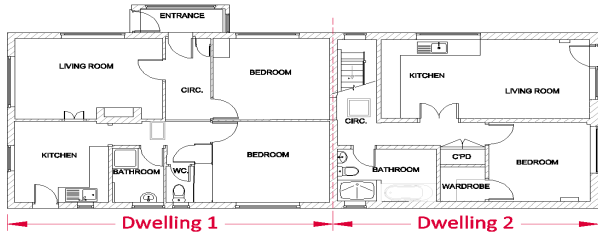
DRAWING NO. 222328 PL 003
 CLIENT NO. HIP 3118

DATE	SCALE	DRAWN BY	CHECKED BY	DATE
25/06/22	1:50	JM	AS	25/06/22

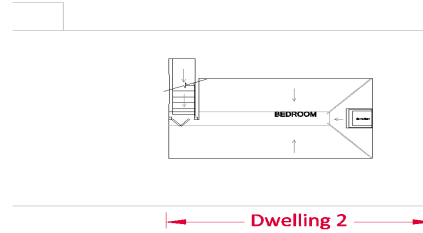
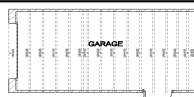
TITLE: SPLIT DWELLING
 MORZINE INGOLDISTHORPE PE31 6NH

EXISTING
 PLANS AND ELEVATIONS

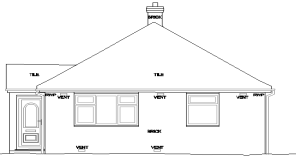
© Copyright 2022, Sworders. All Rights Reserved. The contents of this drawing remain the sole property of Sworders and shall not be copied or reproduced without prior permission.



Ground floor plan

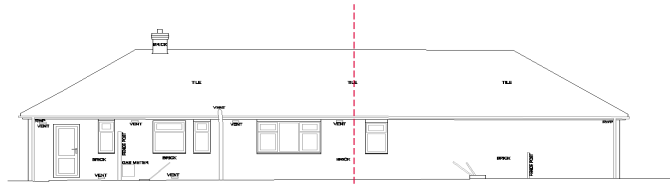


First floor plan



Datum 6.00m

North Elevation
Dwelling 1



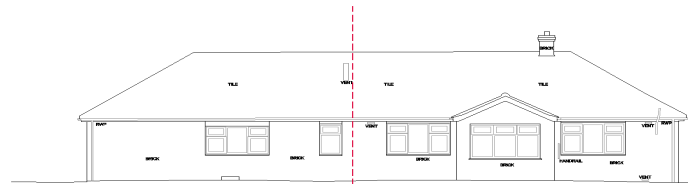
Datum 6.00m

East Elevation
Dwelling 1



Datum 6.00m

South Elevation
Dwelling 2



Datum 6.00m

West Elevation
Dwelling 2

Dwelling 2

Dwelling 1



REVISION	DATE	AMENDMENT
/	30/06/22	FIRST DRAFT

NOT BE USED FOR CONSTRUCTION UNLESS APPROVED BY THE ARCHITECT. ANY CHANGES TO THE DRAWING MUST BE MADE IN WRITING AND APPROVED BY THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT EXTEND TO THE CONSTRUCTION OF THE WORK OR THE FITNESS OF THE WORK FOR ANY PARTICULAR PURPOSE. NO RESPONSIBILITY CAN BE TAKEN FOR ANY DAMAGE OR INJURY CAUSED BY THE WORK OR THE WORKMAN'S NEGLIGENCE.



SWORDERS
SURVIVORS PLANNERS ARCHITECTS
HERTFORDSHIRE | NORWICH | WARWICKSHIRE | SOMERSET
Phone: 01753 771488 | E-mail: jason@sworders.com

PROJECT:				SPLIT DWELLING MORZINE INGOLDISTHORPE PE31 6NH	
TITLE:				PROPOSED PLANS AND ELEVATIONS	
SCALE:	DATE:	BY:	CHK:	DATE:	DATE:
1:100	30/06/22	JL	JK	30/06/22	30/06/22
CLIENT NO.:	DRAWING No.:		REVISION:		
HIP 3118	222328 PL 004		/		

© Copyright 2022, Sworders. All Rights Reserved. The contents of this drawing remain the sole property of Sworders and shall not be copied or reproduced without prior permission.



22/01813/Notes:

REVISION	DATE	AMENDMENT
1	14/03/22	FIRST DRAFT



SWONDERS
 of the City of London Architects

SUBMITTED TO PLANNING OFFICERS
 FOR THE PROPOSED DEVELOPMENT
 AT
 14/03/22
 14/03/22

We warrant that the information contained in this plan is true and correct to the best of our knowledge and belief.
 We warrant that the information contained in this plan is true and correct to the best of our knowledge and belief.
 We warrant that the information contained in this plan is true and correct to the best of our knowledge and belief.

PROJECT NO: 3118	CLIENT NO: HRP 3118	DRAWING NO: 222328 PL 005	REVISION: /
TITLE SPLIT DWELLING MORZINE INGOLDSTHORPE PE31 6NH TOPOGRAPHICAL SURVEY SITE BLOCK PLAN			
DATE: 12/03/22	DRAWN BY: CB	CHECKED BY: RBW/22	APPROVED BY: MR



View of front of property looking south



View of front of property looking south



View of existing annexe to property



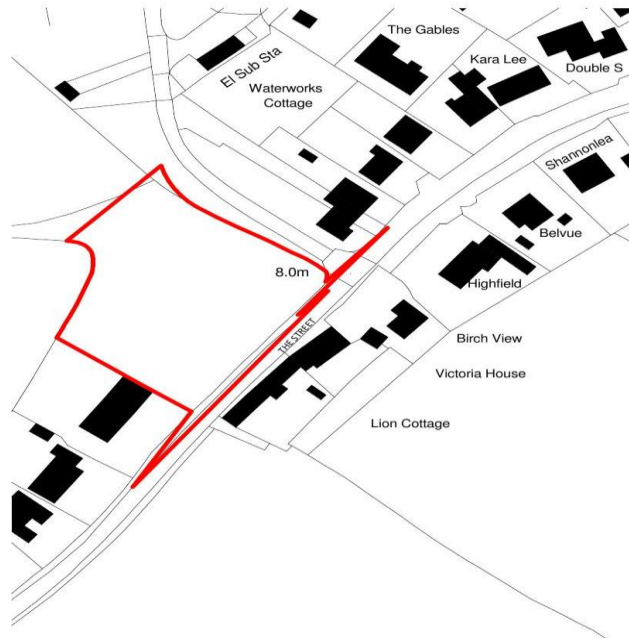
View of rear garden of property



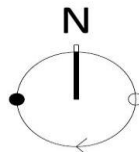
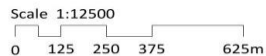
View of rear annexe to property

21/01787/F





Ordnance Survey, (c) Crown Copyright 2022. All rights reserved. Licence number 100022432



- | No. | Note |
|-----|--|
| 1 | All dimensions to be verified on site by contractor before preparation of shop drawings, ordering materials or commencing work |
| 2 | Shop drawings must be presented for comment to the architect before work proceeds |
| 3 | Drawings not to be scaled. Work only to figured dimensions |
| 4 | © copyright PERPETUA IN PERPETUUM LIMITED. All rights reserved.
This drawing remains the property of PERPETUA IN PERPETUUM LIMITED at all times and may not be reproduced or copied in whole or in part without their prior written consent |
| 5 | This drawing and related specifications are for use only in the stated location. |
| 6 | This drawing is to be read in conjunction with all other Consultants drawings and specifications. The Architect must be notified of any discrepancies immediately and before work proceeds |
| 7 | Drainage has not been surveyed and all pipe locations and below ground drainage runs are indicative |

Rev	Date	Description	CC	CS	Drwn	Chkd
-	22.10.12	Planning				

Client MOSS
Project Land off The St, Marham (Site 1)
Title Location Plan
Scales 1 : 1250@A3

4 BELMONT PLACE
CAMBRIDGE
CB1 1AR

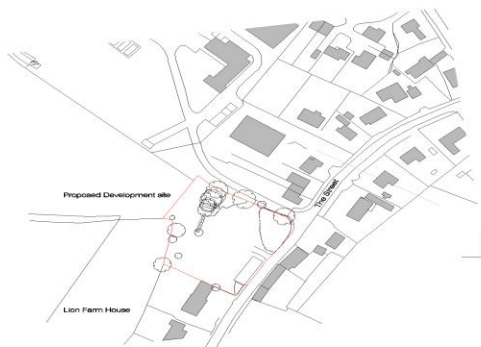


T: 01223 361 803
www.piparchitecture.co.uk
info@piparchitecture.co.uk

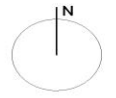
Preliminary		
Drwn	Chkd	Date
CC	CS	22.10.12

Project	Drawing	Rev
2019	1-01	-

Drawing produced under Crown Copyright
Ordnance Survey Data Licence ref: 10020449



Location Plan 1:1250



Scale bar 100m @ 1:1250

Note:
This drawing represents design intent only and is
not to be used for construction.



Site Layout 1:200

DISCLAIMER
This document is the property of YS (Yourspace) and should not be used for any other purpose. It is intended for use only for the purposes stated and the contents may not be used for any other purpose without the prior written consent of YS (Yourspace).

REVISIONS
Only the latest version of this Drawing must be used on site. Any other version must be approved in writing by the client.

DATE: 11/10/2009
REVISION: A: SS 03/03/09
Vision play and driveway altered in line with NCC consultation.

KEY TO DRAWING

	Existing tree showing PPA. PPA includes all the area to be retained. Contour levels to be retained. Contour levels to be retained. Contour levels to be retained.
	Existing tree to be removed.
	Existing tree to be retained.
	Existing tree to be retained.
	Proposed new tree.
	Existing Footpath. See colour. Contour level.
	Proposed Footpath. See colour. Contour level.
	Private garden areas left to grass.
	Proposed new hedge below 1.8m.
	Proposed new hedge below 1.8m.
	Proposed 1.8m wall built brick with chalk fill.
	Proposed 1.8m obstacle fence.
	Proposed 1.2m post and rail fence.
	See Energy Ground Source heat pump location.
	Gravel Cased Underground tank for rainwater harvesting systems.

Scale bar 20m @ 1:200

Previously approved scheme: 09/00153/RM

ys:
Yourspace

yourspace:
Yourspace

CLIENT:
RELIANT BUILDING CONTRACTORS LTD
LAND NORTH OF LION FARM HOUSE

DATE:
PROPOSED SITE LAYOUT PLAN

DATE: 12/01/2009	REV: 11/10/2009@A1	BY: SS
NO. OF SHEETS: RBC05	SHEET NO: 01	SCALE: A

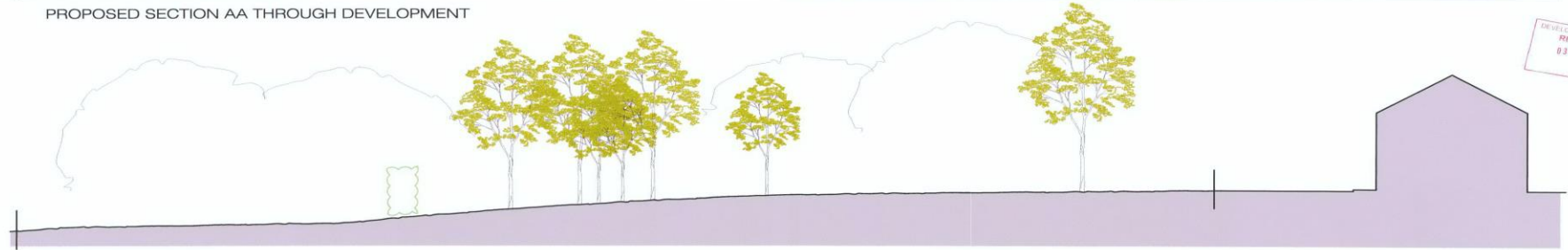
© 2009 Yourspace. All rights reserved. Yourspace is a registered trademark of Yourspace. Yourspace is not responsible for any errors or omissions in this drawing. Yourspace is not liable for any loss or damage, whether direct or indirect, arising from the use of this drawing.



PROPOSED STREET SCENE



PROPOSED SECTION AA THROUGH DEVELOPMENT



EXISTING SECTION AA THROUGH DEVELOPMENT

STREET SCENE AND SECTION Scale 1:100



Note:
This drawing represents design intent only and is not to be used for construction.

Author	Designer

Project Name	Scale	Sheet No.
PROPOSED SITE SECTION + STREET VIEW	1:100(A1)	03

ys:
yourspace:
Architectural & Planning Consultants

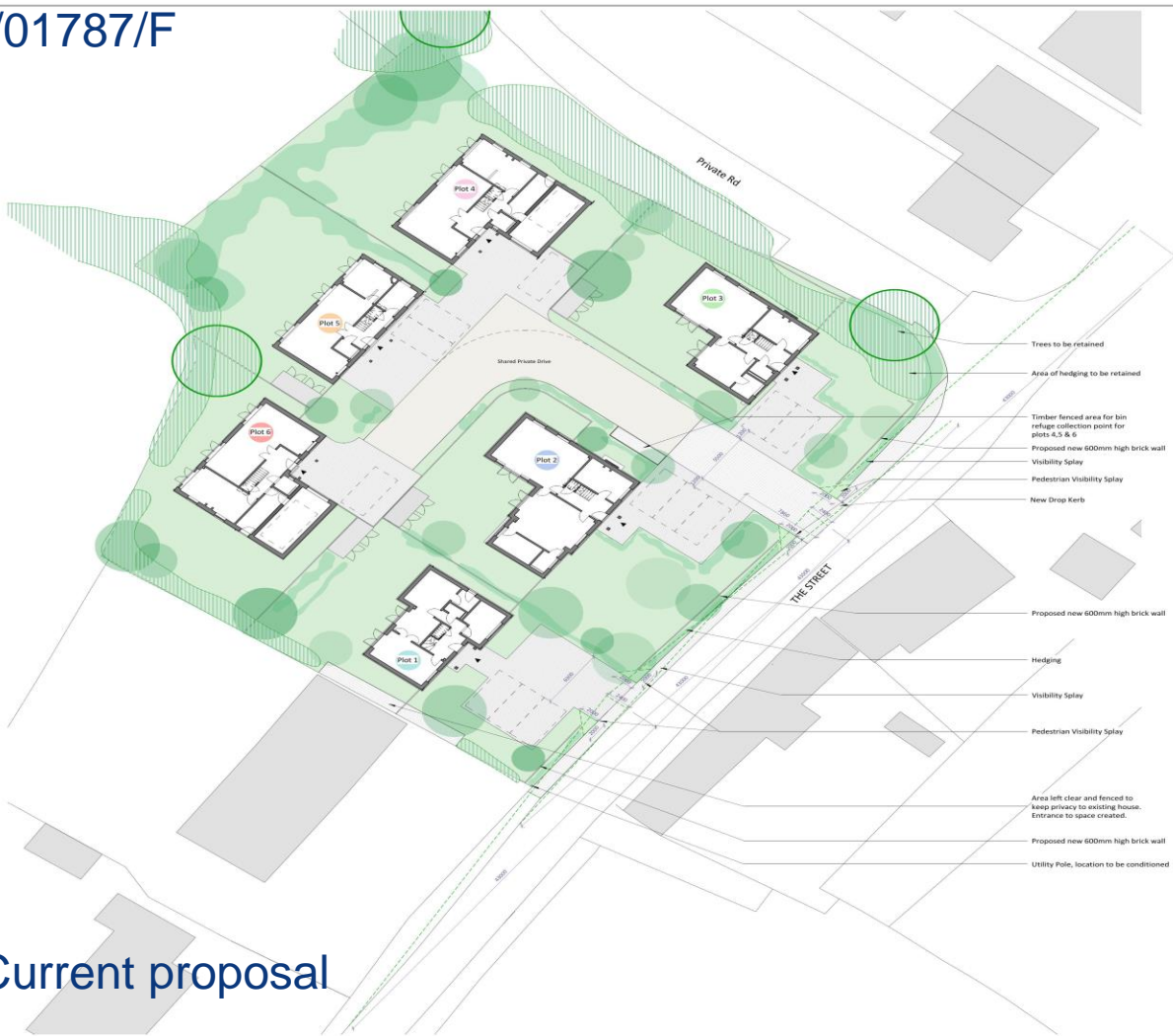
Client: RELIANT BUILDING CONTRACTORS LTD
Address: LAND NORTH OF LION FARM HOUSE
Project: PROPOSED SITE SECTION + STREET VIEW

Date: 12/01/2023	Scale: 1:100(A1)	Sheet: 03
Job Number: RBC05	Working Number: 03	Revision:

© 2023 YS: Architecture & Planning. All Rights Reserved.
This drawing is the property of YS: Architecture & Planning.

DEVELOPMENT SERVICE
RECEIVED
03 FEB 2023

Previously approved scheme: 09/00153/RM



Key

	Plot 1	House Type A:	4B
	Plot 2	House Type B:	4B
	Plot 3	House Type C:	3B
	Plot 4	House Type D:	3B
	Plot 5	House Type E:	3B
	Plot 6	House Type F:	3B

- Retained trees (position and size shown according to survey)
- Retained areas of hedging and scrub (position according to survey)
- Proposed trees
- Proposed diverse mixed hedging

- Trees to be retained
- Area of hedging to be retained
- Timber fenced area for bin refuse collection point for plots 4, 5 & 6
- Proposed new 600mm high brick wall
- Visibility Splay
- Pedestrian Visibility Splay
- New Drop Kerb
- Proposed new 600mm high brick wall
- Hedging
- Visibility Splay
- Pedestrian Visibility Splay
- Area left clear and fenced to keep privacy to adjoining house. Entrance to space created.
- Proposed new 600mm high brick wall
- Utility Pole, location to be conditioned

No. Name
 1 All dimensions to be verified on site by contractor before presentation of shop drawings, writing materials or commencing work.
 2 Shop drawings must be presented for comment to the architect before work proceeds.
 3 Drawings not to be copied. Work only to figured dimensions.
 4 © copyright PIPETULIA AN PIPETULIUM LIMITED. All rights reserved. This drawing remains the property of PIPETULIA AN PIPETULIUM LIMITED and it is not to be reproduced or copied in whole or in part without their prior written consent.
 5 This drawing and related specifications are for use only in the identification.
 6 This drawing is to be read in conjunction with all other Consultants drawings and specifications. The architect must be notified of any discrepancies immediately and before work proceeds.
 7 Drawings has not been stamped and all pipe locations and below ground drainage runs are indicated.

N

Scale 1:200
 0 2 4 6 8 10m

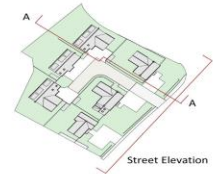
Planning

Drawn	Chkd	Date
CC		22.12.06

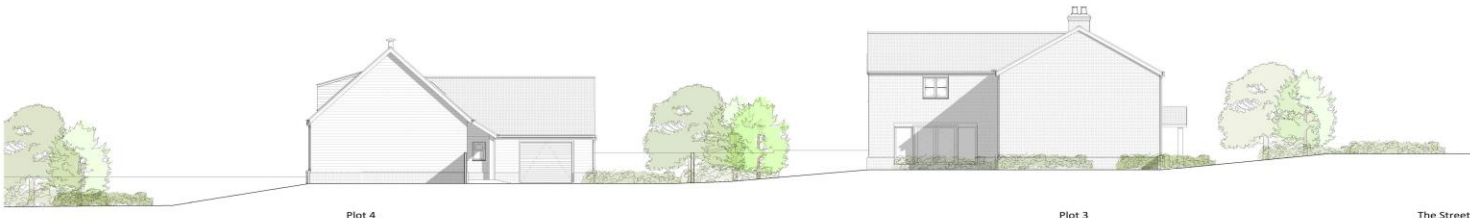
Client	MOSS
Project	Land off The St, Marham (Site 1)
Title	Proposed Site Plan
Scale	As indicated@A1
T: 01223 361 803 www.piparchitecture.co.uk pip@piparchitecture.co.uk	Rev
Project 2019	Drawing 1-02 A

Current proposal

- No. Note
- 1 All dimensions to be verified on site by contractor before preparation of final drawings, writing materials or commencing work
- 2 Drawings shall be prepared for comment to the architect before work proceeds
- 3 Drawings not to be used. Work only to agreed dimensions
- 4 Copyright PROPECTUA IN PROPECTUA LIMITED. All rights reserved. This drawing remains the property of PROPECTUA IN PROPECTUA LIMITED and shall not be reproduced or copied in whole or in part without their prior written consent
- 5 The drawings and related specifications are for use only in the particular location.
- 6 This drawing is to be read in conjunction with all other Consultants drawings and specifications. The architect must be notified of any discrepancies immediately and before work proceeds.
- 7 Drawings have not been surveyed and all plot locations and below ground drainage lines are indicative.



Street Elevation
1 : 100



Section AA
1 : 100

Planning		
Drawn	Check	Date
CC	CS	22.10.12

02/10/12	Planning	CC	CS
Rev	Drawn	Check	Date
Client	MOSS		
Project	Land off The St, Marham (Site 1)		
Title	Proposed Site Section and Street View		
Scale	As indicated@A1		

1 SHERBURN PLACE
CAMBRIDGE
CB2 3LQ



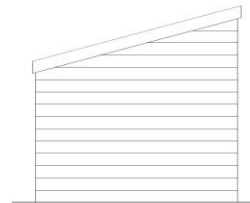
T: 01223 363 803
www.piparchitects.co.uk
info@piparchitects.co.uk

Prepared	Drawn	Rev
2019	4-01	-

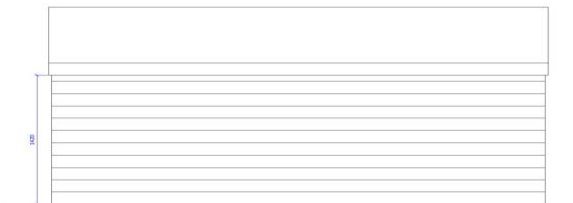
Current proposal



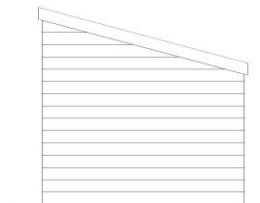
Front Elevation
1 : 20



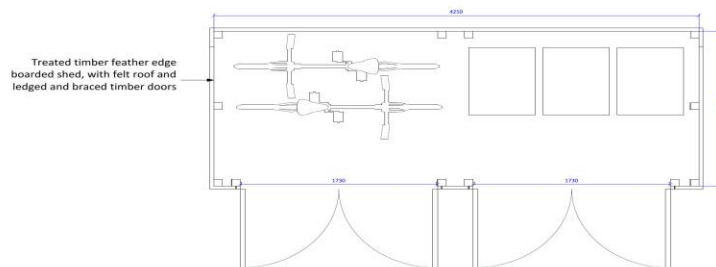
LHS Elevation
1 : 20



Rear Elevation
1 : 20



RHS Elevation
1 : 20



Treated timber feather edge boarded shed, with felt roof and ledged and braced timber doors

Plan
1 : 20

1. No. Note
2. All dimensions to be verified on site by contractor before preparation of final drawings, including materials or sequencing work.
3. These drawings shall be prepared for comment by the architect before work proceeds.
4. Drawings not to be copied, blank only to: Approved dimensions.
5. All copyright RESERVED TO PIPETECHNIQUE LIMITED. All rights reserved. This drawing remains the property of PIPETECHNIQUE LIMITED and shall not be used for reproduction or copied in whole or in part without their prior written consent.
6. The drawings and related specifications are for use only in the jurisdiction.
7. This drawing is to be read in conjunction with all other Consultants drawings and specifications. The architect must be notified of any discrepancies immediately and before work proceeds.
8. Drawings has not been stamped and all pipe locations and below ground drainage lines are tentative.

Scale 1:50

Planning

Drawn: _____ Check: _____ Date: _____

Rev	Date	Description	Drawn
01		EPGL	

Project: Land of The Street, Marham (Site 1)

Title: Bin & Cycle Store (2)

Scales: 1 : 20@A1

2 BERKSHIRE PLACE
CAMBRIDGE
CB2 1LQ

T: 01223 361 803
www.piparchitectural.co.uk
info@piparchitectural.co.uk

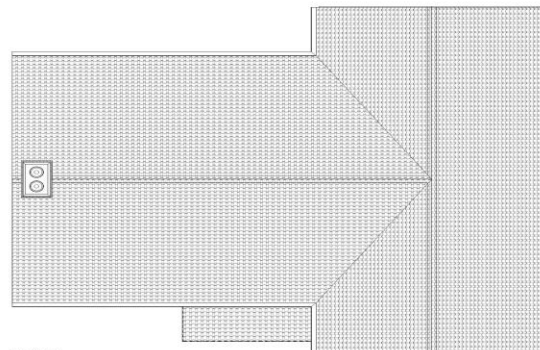
Project: 2119 Drawing: 6-03 Rev: _____



First Floor Plan
1:50



Ground Floor Plan
1:50



Roof Plan
1:50

1. All dimensions to be verified on site by contractor before preparation of final drawings, retaining materials or commencing work.
2. These drawings shall be prepared for consent to the architect before work proceeds.
3. Drawings not to be copied. Work only to Approved dimensions.
4. All copyright RESERVED TO ARCHITECTURE LIMITED. All rights reserved. This drawing remains the property of ARCHITECTURE LIMITED and it is not to be reproduced or copied in whole or in part without their prior written consent.
5. The drawings and related specifications are for use only by the professional.
6. This drawing is to read in conjunction with all other Contractors drawings and specifications. The Architect must be notified of any discrepancies immediately and before work proceeds.
7. Drawings have not been stamped and all other Contractors drawings must be stamped and before work proceeds.

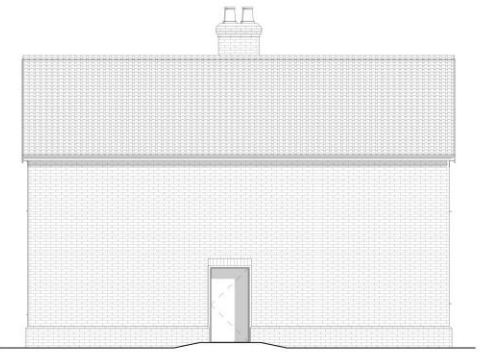
Area Schedule (GIA) 3

Level	Area
00	73 m ²
01	73 m ²
	147 m ²



Planning		
Drawn	Check	Date
CC	CS	22.10.12

01/10/12	Planning	CC	CS
Rev	Draw	Description	Drawn
Client MOSS			
Project Land off The St. Marham (Site 1)			
Title Floor Plans - Type A			
Scale 1:50@A1			
1 BELMONT PLACE CAMBRIDGE CB2 1LQ			
T: 01223 361 803 www.piparchitects.co.uk info@piparchitects.co.uk			
Project No. 2119	Drawing No. (A)2-01	Rev -	



LHS Elevation
1 : 50



Rear Elevation
1 : 50



Front Elevation
1 : 50



RHS Elevation
1 : 50

- No. 1. All elevations to be verified on site by contractor before preparation of final drawings, including materials or paving work.
- 2. These drawings shall be prepared for consent to that architect before work proceeds.
- 3. Drawings not to be copied. Work only to: Approved dimensions.
- 4. © copyright PERPETUA IN PERPETUUM LIMITED. All rights reserved. This drawing remains the property of PERPETUA IN PERPETUUM LIMITED and it is not to be reproduced or copied in whole or in part without their prior written consent.
- 5. The drawings and related specifications are for use only in the particular location.
- 6. This drawing is to be read in conjunction with all other Consultants drawings and specifications. The architect must be notified of any discrepancies immediately and before work proceeds.
- 7. Drawings have not been surveyed and all pipe locations and below ground drainage have an indication.

Scale 1:50
 0 500 1000 1500 2500mm

Planning		
Drawn	Check	Date
CC	CS	22.10.12

07/10/12 Planning
 Rev: 001
 Date: 07/10/12

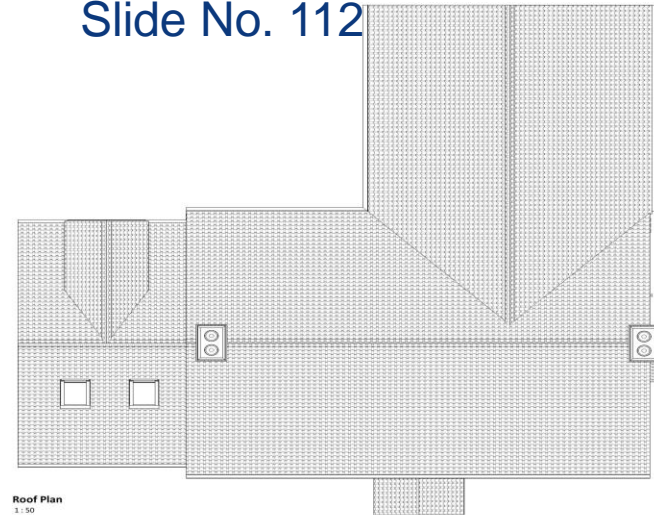
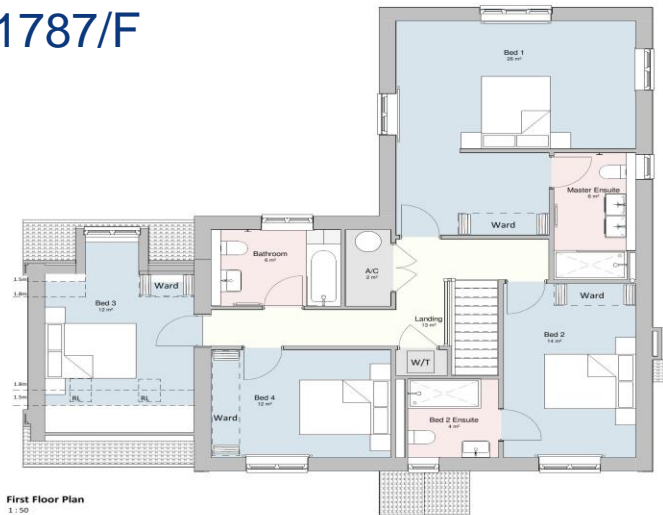
Client MOSS
Project Land off The St. Marham (Site 1)
Title Elevations - Type A
Scale 1 : 50@A1

2 BELMONT PLACE
 CAMBRIDGE
 CB2 3LQ



T: 01223 363 803
 www.gpacarchitects.co.uk
 info@gparchitects.co.uk

Project 2119	Drawing (A)3-01	Rev -
-----------------	--------------------	----------



- No. Rev.
- All dimensions to be verified on site by contractor before commencement of site works, including materials at commencement work.
 - Drawings shall be prepared for consent to the architect before work proceeds.
 - Drawings not to be copied, blank only to signed drawings.
 - © copyright PERPECTUA IN PERPETUUM LIMITED. All rights reserved. This drawing remains the property of PERPECTUA IN PERPETUUM LIMITED and it is not to be reproduced or copied in whole or in part without their prior written consent.
 - This drawing and related specifications are for use only in the jurisdiction.
 - This drawing is to read in conjunction with all other Consultants drawings and specifications. The architect must be notified of any discrepancies immediately and before work proceeds.
 - Drawings have not been surveyed and all pipe locations and below ground drainage are an indication.

Area Schedule (GIA)	
Level	Area
00	109 m ²
01	102 m ²
	211 m ²



Planning			
Drawn	Check	Date	
CC	CS	22.10.12	

01/2012 Planning	01/2012
Rev. Description	Rev. Description
Client Moss	
Project Land off The Street, Marham, (Site 1)	
Title Floor Plans - Type B	
Scales 1:50@A1	
2 BELMONT PLACE CAMBRIDGE CB2 3LQ	
T: 01223 361 803 www.piparchitects.co.uk info@piparchitects.co.uk	Drawn: CC
Project: 2119	Rev: -



LHS Elevation
1:50



Rear Elevation
1:50



Front Elevation
1:50



RHS Elevation
1:50

- No. Note
- All dimensions to be verified on site by contractor before preparation of final drawings, writing materials or commencing work.
 - Drawings shall be prepared for consent to that architect before work proceeds.
 - Drawings not to be scaled. Work only to be agreed dimensions.
 - © copyright PIPTECLA IN PIPTECLUM LIMITED. All rights reserved. This drawing remains the property of PIPTECLA IN PIPTECLUM LIMITED and shall not be reproduced or copied in whole or in part without their prior written consent.
 - This drawing and related specifications are for use only in the jurisdiction.
 - This drawing is to be read in conjunction with all other Contractors drawings and specifications. The architect must be notified of any discrepancies immediately and before work proceeds.
 - Drawings have not been stamped and all other locations and below ground drawings may be available.

Scale 1:50
0 500 1000 1500 2500mm

Planning
Drawn: CC, Check: CS, Date: 22.10.12

01/2012 Planning Application CC, CS
Rev: 001/001

Client
Moss

Project
Land off The Street, Marham, (Site 1)

Title
Elevations - Type B

Scales
1:50@A1

1 BELMONT PLACE
CAMBRIDGE
CB1 1LH



T: 01223 363 803
www.gpaarchitects.co.uk
info@gpaarchitects.co.uk

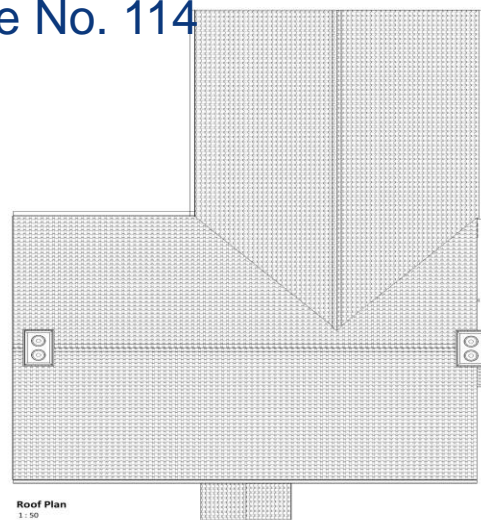
Project: 2119 Drawing: (B)3-01 Rev: -



First Floor Plan
1:50



Ground Floor Plan
1:50



Roof Plan
1:50

- No. Rev.
- All dimensions to be verified on site by contractor before preparation of final drawings, writing materials or commencing work.
 - Drawings shall be prepared for concrete to the architect before work proceeds.
 - Drawings not to be copied. Work only to agreed dimensions.
 - © copyright PERPECTUA IN PERSPECTIVUM LIMITED. All rights reserved. This drawing remains the property of PERPECTUA IN PERSPECTIVUM LIMITED and others and may not be reproduced or copied in whole or in part without their prior written consent.
 - This drawing and related specifications are for use only by the professional.
 - This drawing is to be read in conjunction with all other Contractors drawings and specifications. The Architect must be notified of any discrepancies immediately and before work proceeds.
 - Drawings have not been surveyed and all dimensions and below ground depths are as indicated.

Area Schedule (GIA)

Level	Area
00	88 m ²
01	88 m ²
	177 m ²



Planning			
Drawn	Check	Date	
CC	CS	22.10.12	

01/2012 Planning
Rev: 001 Description: CC, CS

Client
Moss

Project
Land off The Street, Marham,
(Site 1)

Title
Floor Plans - Type C

Scales
1: 50@A1

1 BELMONT PLACE
CAMBRIDGE
CB2 3LQ

T: 01223 361 803
www.piparchitects.co.uk
info@piparchitects.co.uk

Prepared: 2019
Checked: (C)-01
Rev: -



LHS Elevation
1:50



Rear Elevation
1:50



Front Elevation
1:50



RHS Elevation
1:50

- No. Title
- All elevations to be verified on site by contractor before preparation of final drawings, including materials and sequencing work.
 - These drawings shall be prepared for comment to the architect before work proceeds.
 - Drawings not to be copied. Work only to agreed dimensions.
 - © copyright PIPETUA ARCHITECTURAL LIMITED. All rights reserved. This drawing remains the property of PIPETUA ARCHITECTURAL LIMITED and shall not be reproduced or copied in whole or in part without their prior written consent.
 - This drawing and related specifications are for use only in the jurisdiction.
 - This drawing is to read in conjunction with all other Consultants drawings and specifications. The architect must be notified of any discrepancies immediately and before work proceeds.
 - Drawings have not been stamped and all pipe locations and below ground drainage have not been indicated.

Scale 1:50
0 500 1000 1500 2500mm

Planning
Drawn: CC, Check: CS, Date: 22.10.12

01/2017 Planning
Rev: 00/01 Description: CC, Rev: 00/01


Client: Moss

Project: Land off The Street, Marham, (Site 1)

Title: Elevations - Type C

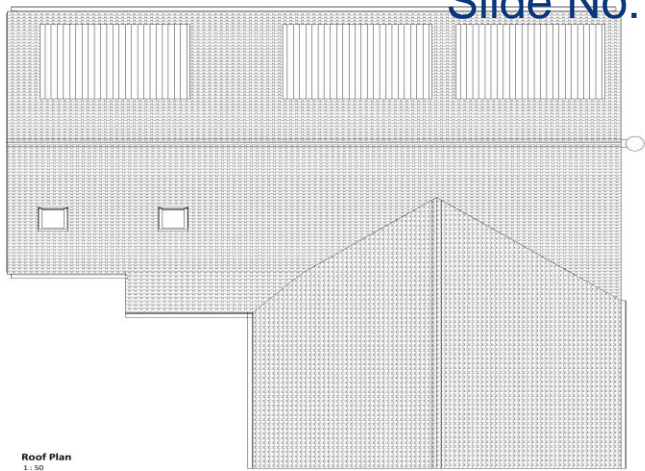
Scales: 1:50@A1

2 BELMONT PLACE
CAMBRIDGE
CB2 3LQ



T: 01223 363 803
www.gpacarchitects.co.uk
info@gparchitects.co.uk

Prepared: 2019, Drawing: (C)3-01, Rev: -



- Note:
 1 All dimensions to be verified on site by contractor before preparation of final drawings, retaining materials at surrounding walls.
 2 This drawing shall be prepared for comment to the architect before work proceeds.
 3 Drawings not to be copied. Work only to agreed dimensions.
 4 © copyright PERPECTUA IN PERPETUUM LIMITED. All rights reserved. This drawing remains the property of PERPECTUA IN PERPETUUM LIMITED and shall not be reproduced or copied in whole or in part without their prior written consent.
 5 This drawing and related specifications are for use only in the jurisdiction.
 6 This drawing is to be read in conjunction with all other Contract Documents drawings and specifications. The architect must be notified of any discrepancies immediately and before work proceeds.
 7 Drawings have not been stamped and all other contractors and below ground drainage have not been indicated.

Area Schedule (GIA)
 Includes storage and areas under 1.5m Level

Level	Area
00	89 m ²
01	63 m ²
	152 m²



Planning

Drawn	Check	Date
CC	CS	22.10.12

01/2012 Planning
 Rev: 001
 Description: MOSS

Client: MOSS

Project: Land off The Street, Marham, (Site 1)

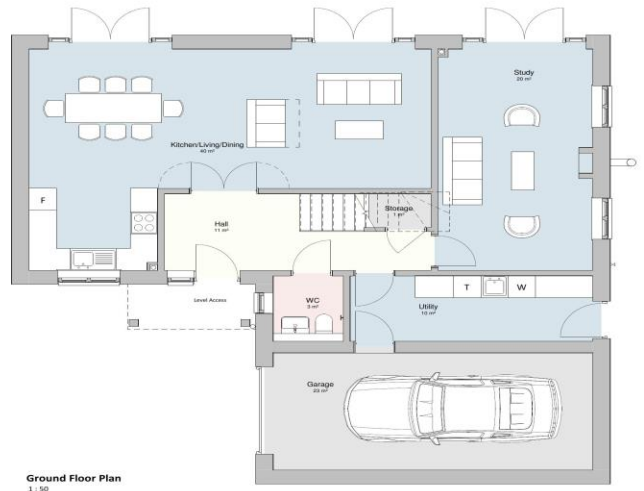
Title: Floor Plans - Type D

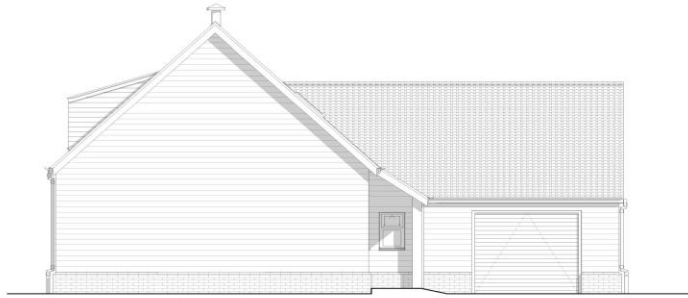
Scales: 1: 50@A1

2 BRIMINGTON PLACE
 CAMBRIDGE
 CB2 3LQ

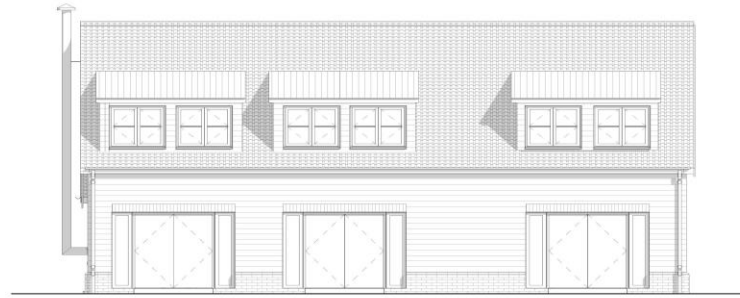
T: 01223 361 803
 www.gpacarchitects.co.uk
 info@gparchitects.co.uk

Project No.	Drawing	Rev
2119	(D)2-01	-





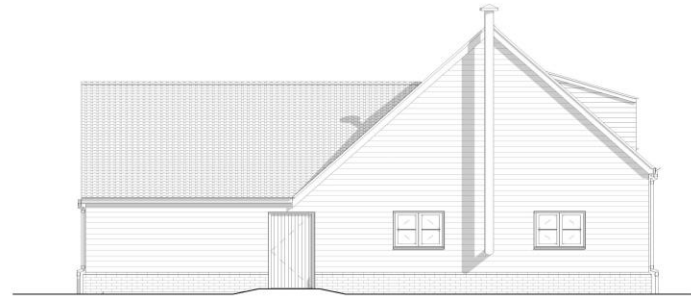
LHS Elevation
1 : 50



Rear Elevation
1 : 50



Front Elevation
1 : 50



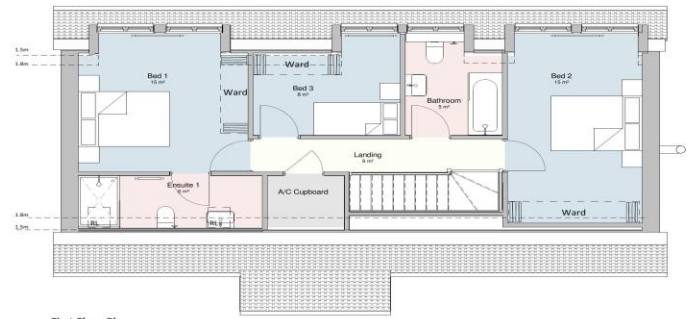
RHS Elevation
1 : 50

- No. Note
- All dimensions to be verified on site by contractor before preparation of final drawings, writing materials or commencing work.
 - Drawings shall be prepared for consent to that architect before work proceeds.
 - Drawings not to be copied. Work only to agreed dimensions.
 - © copyright PIPTECLA IN PIPTECLUM LIMITED. All rights reserved. This drawing remains the property of PIPTECLA IN PIPTECLUM LIMITED and shall not be reproduced or copied in whole or in part without their prior written consent.
 - This drawing and related specifications are for use only in the jurisdiction.
 - This drawing is to be read in conjunction with all other Consultants drawings and specifications. The architect must be notified of any discrepancies immediately and before work proceeds.
 - Drawings have not been surveyed and all pipe locations and below ground drainage have an indication.

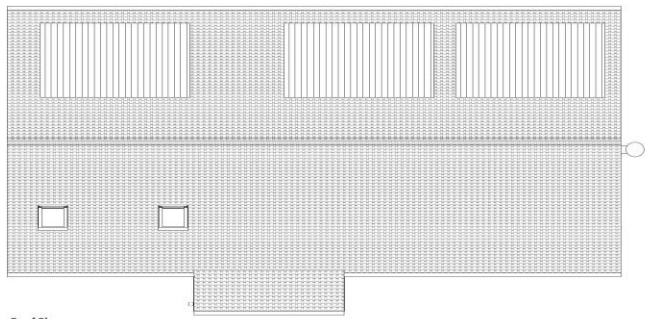
Scale 1:50
0 500 1000 1500 2500mm

Planning		
Drawn	Check	Date
CC	CS	22.10.12

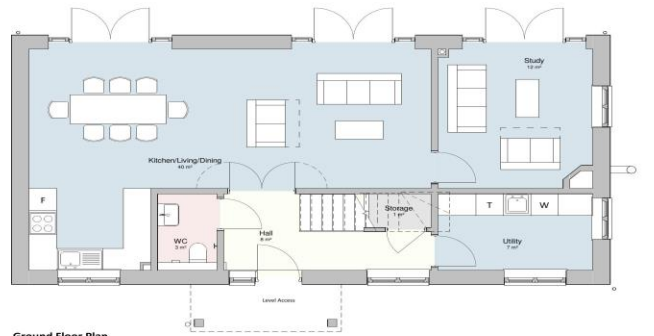
01/2017 Planning	01/10/12
Rev. Description	Rev. Date
Client	MOSS
Project	Land off The Street, Marham, (Site 1)
Title	Elevations - Type D
Scales	1 : 50@A1
2 BELMONT PLACE CAMBRIDGE CB2 3LQ	
	
T: 01223 363 803	
www.gpacarchitects.co.uk	
info@gparchitects.co.uk	
Project	2119
Drawing	(D)3-01
Rev	-



First Floor Plan
1:50



Roof Plan
1:50



Ground Floor Plan
1:50

- No. 10
- 11 All dimensions to be verified on site by contractor before preparation of final drawings, retaining materials at surrounding work.
- 12 This drawing shall be prepared for comment to the architect before work proceeds.
- 13 Drawings not to be copied. Work only to agreed dimensions.
- 14 If copyright PROTECTA IN PROTECTUM LIMITED. All rights reserved. This drawing remains the property of PROTECTA IN PROTECTUM LIMITED and shall not be reproduced or copied in whole or in part without their prior written consent.
- 15 This drawing and related specifications are for use only in the jurisdiction.
- 16 This drawing is to be read in conjunction with all other Contractors drawings and specifications. The architect must be notified of any discrepancies immediately and before work proceeds.
- 17 Drawings have not been stamped and all other contractors and below ground drawings have no relation.

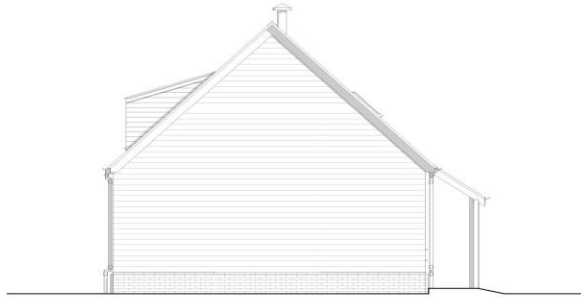
Area Schedule (GIA)

Level	Area
00	75 m ²
01	63 m ²
	138 m²



Planning			
Drawn	Check	Date	
CC	CS	22.10.12	

02/10/12	Planning	CC	CS
Rev	Area	Description	Date
Client MOSS			
Project Land off The Street, Marham, (Site 1)			
Title Floor Plans - Type E			
Scale 1:50@A1			
1. MARKET PLACE CAMBRIDGE CS1 1AR			
			
T: 01223 361 803 www.gpacarchitects.co.uk info@gparchitects.co.uk			
Project 2119	Drawing (E)2-01	Rev -	



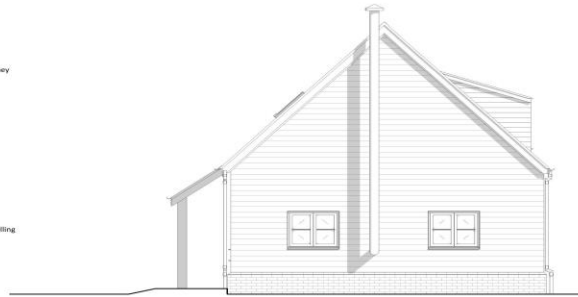
LHS Elevation
1 : 50



Rear Elevation
1 : 50



Front Elevation
1 : 50



RHS Elevation
1 : 50

- No. Note
- All dimensions to be verified on site by contractor before preparation of final drawings, including materials or sequencing work.
 - Drawings shall be prepared for consent to the architect before work proceeds.
 - Drawings not to be used. Work only to Approved dimensions.
 - © copyright PIPETUA IN PIPETUUM LIMITED. All rights reserved. This drawing remains the property of PIPETUA IN PIPETUUM LIMITED and shall not be reproduced or copied in whole or in part without their prior written consent.
 - This drawing and related specifications are for use only in the jurisdiction.
 - This drawing is to be read in conjunction with all other Consultants drawings and specifications. The Architect must be notified of any discrepancies immediately and before work proceeds.
 - Drawings have not been surveyed and all elevations and below ground drawings are approximate.

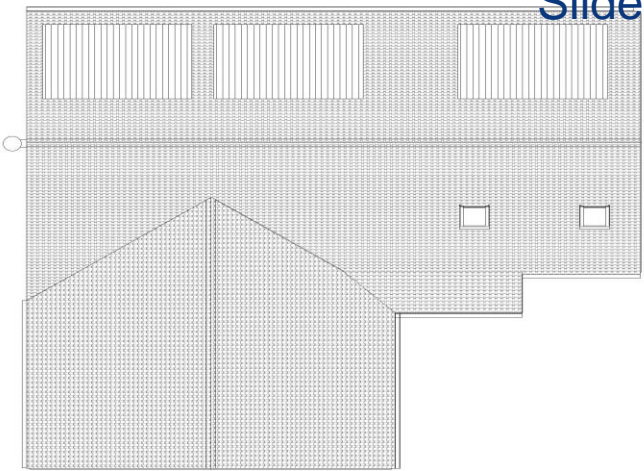


Planning		
Drawn	Check	Date
CC	CS	22.10.12

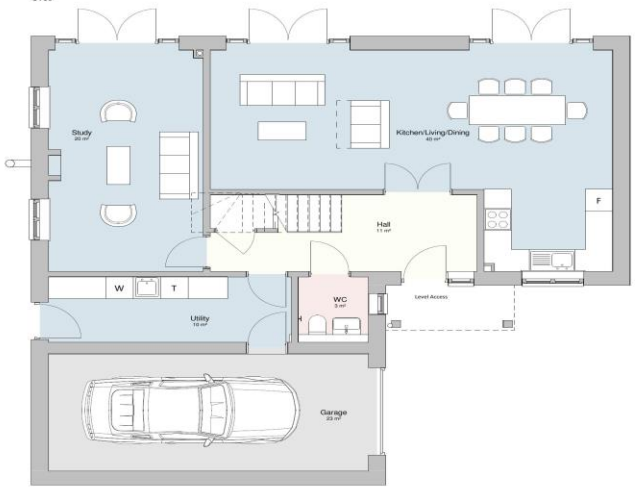
01/2017	Planning	CC	CS
Rev	Draw	Drawn	Check
Client MOSS			
Project Land off The Street, Marham, (Site 1)			
Title Elevations - Type E			
Scale 1 : 50@A1			
2 BELMONT PLACE CAMBRIDGE CB2 3LQ			
			
T: 01223 363 803 www.piparchitects.co.uk info@piparchitects.co.uk		Drawing (E)3-01	
Project 2119		Rev -	



First Floor Plan
1 : 50



Roof Plan
1 : 50



Ground Floor Plan
1 : 50

- Note:
- All dimensions to be verified on site by contractor before commencement of final drawing, unless otherwise instructed in accompanying work.
 - Final drawings must be presented for comment to the architect before work proceeds.
 - Drawings not to be scaled. Work only to figured dimensions.
 - © copyright PIPETECTA AN PIPETECTUM LIMITED. All rights reserved. This drawing remains the property of PIPETECTA AN PIPETECTUM LIMITED. All dimensions and areas may only be reproduced or copied in whole or in part without their prior written consent.
 - This drawing and related specifications are for use only in the stated location.
 - This drawing is to be read in conjunction with all other Consultants drawings and specifications. The Architect must be notified of any discrepancies immediately and before work proceeds.
 - Drawings has not been surveyed and all pipe locations and below ground drainage are as indicated.

Area Schedule (GIA)
Excluding garage and area smaller than 1.0m

Level	Area
G0	89 m ²
G1	63 m ²
	152 m ²



Planning		
Drawn	Check	Date
CC	CS	22.10.12

Client	MOSS
Project	Land off The Street, Marham, (Site 1)
Title	Floor Plans - Type F
Scale	3 : 50@A1
CLIENT PLACE	CAMBRIDGE
CELL NO.	



T: 01223 361 803
www.piparchitecture.co.uk
info@piparchitecture.co.uk

Project No.	2119	Drawing No.	(F)2-01	Rev	-
-------------	------	-------------	---------	-----	---



LHS Elevation
1 : 50



Rear Elevation
1 : 50



Front Elevation
1 : 50



RHS Elevation
1 : 50

- No. Note
- All dimensions to be verified on site by contractor before commencement of final drawing, including materials or sequencing work.
 - These drawings shall be prepared for comment by the architect before work proceeds.
 - Drawings not to be scaled. Work only to be figured dimensions.
 - © copyright PIPETUA IN PIPETUUM LIMITED. All rights reserved. This drawing remains the property of PIPETUA IN PIPETUUM LIMITED and cannot be used for reproduction or copied in whole or in part without their prior written consent.
 - This drawing and related specifications are for use only in the jurisdiction.
 - This drawing is to be read in conjunction with all other Consultants drawings and specifications. The architect must be notified of any discrepancies immediately and before work proceeds.
 - Drawings have not been compared with all other locations and below ground drawings have not been checked.

Scale 1:50
0 500 1000 1500 2500mm

Planning
Drawn: CC, Check: CS, Date: 22.10.12

01/2017 Planning
Rev: 00/01 Description: CC, CS


Client: MOSS

Project: Land off The Street, Marham, (Site 1)

Title: Elevations - Type F

Scales: 1: 50@A1

2 BELMONT PLACE
CAMBRIDGE
CB2 3LQ



T: 01223 363 803
www.piparchitects.co.uk
info@piparchitects.co.uk

Project: 2119 Drawing: (F)3-01 Rev: -



21/01787/F

Slide No. 123



View to NE from existing/main access point

Lion Farm House





View NE along The Street close to S corner of the site (main access point where car parked)



View NW across the site from the s corner



View SW towards Lion Farm House from mid-frontage of the site



View S towards Lion Farm House from close to rear of the site



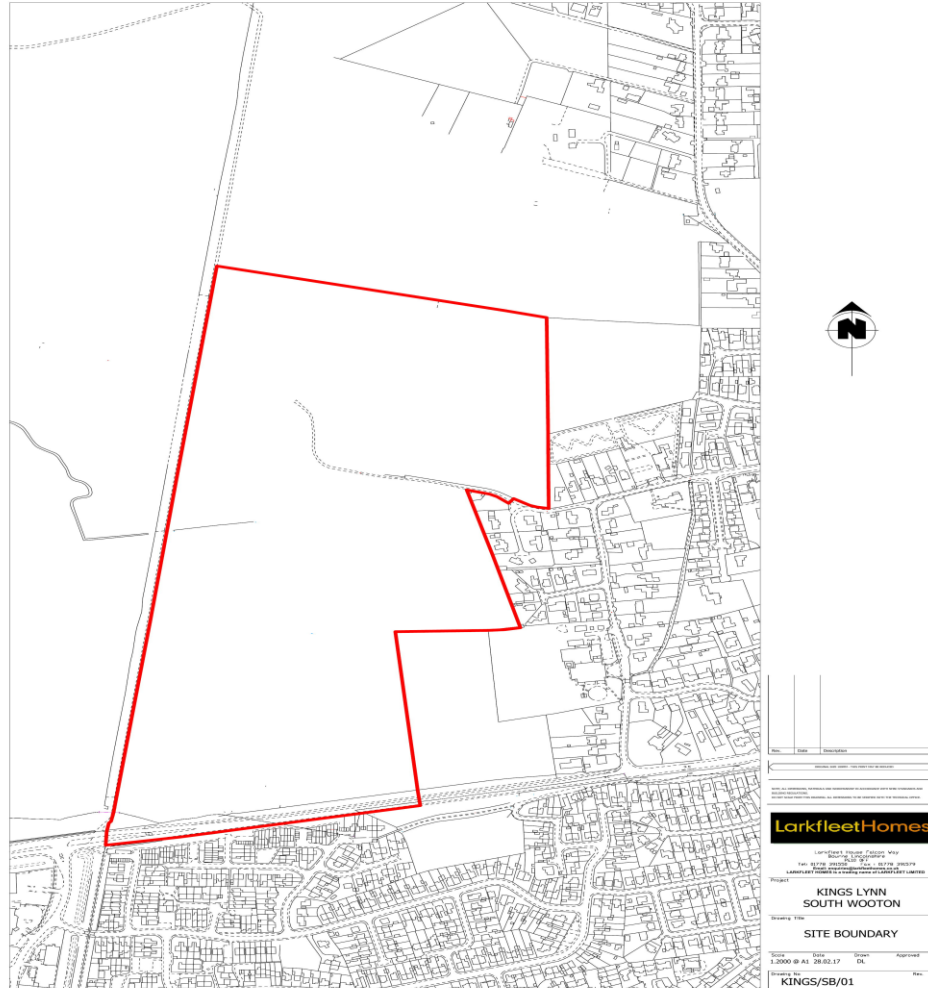
View SE towards Victoria House and Lion Cottage from close to rear of the site

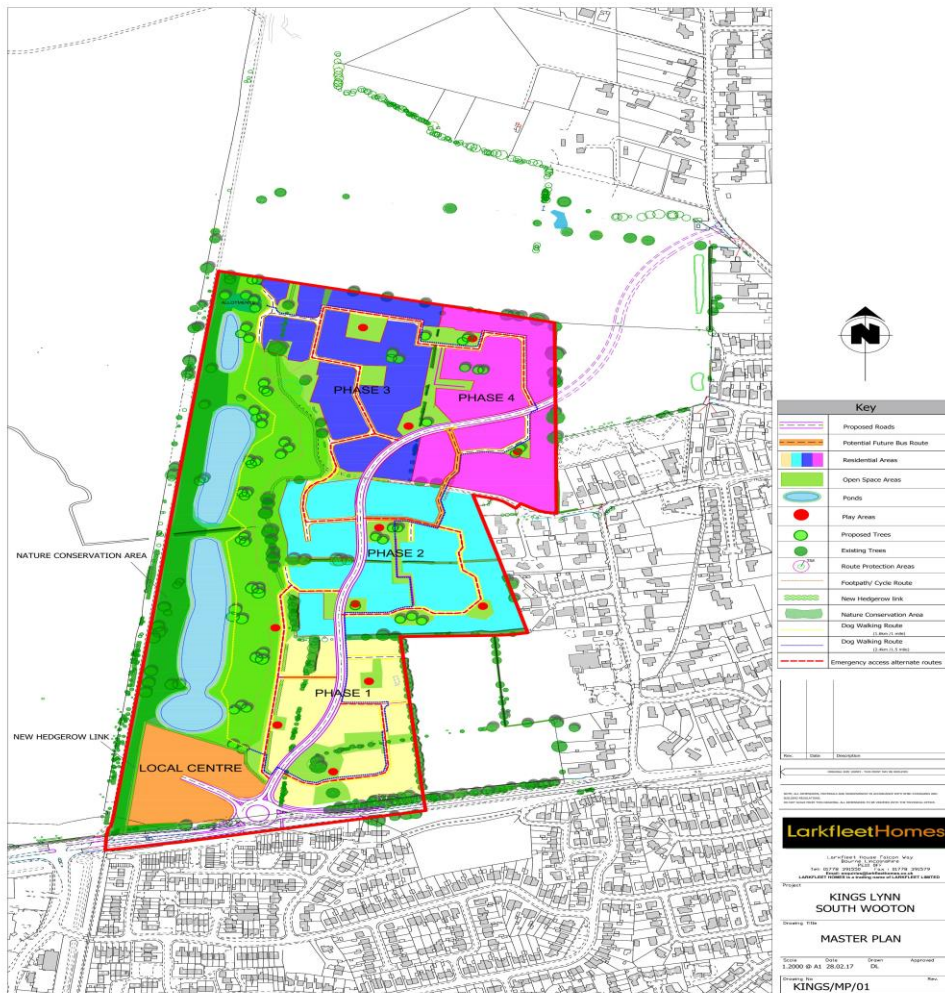


View towards N boundary from close to rear of the site

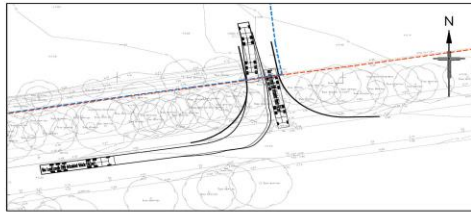
22/01089/F





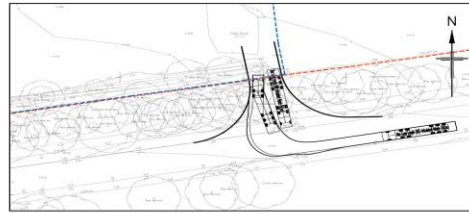






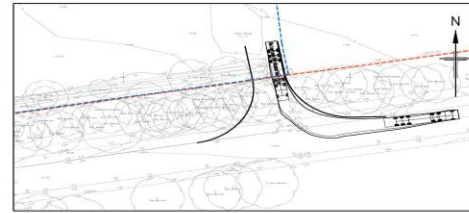
WEST ACCESS APPROACH

SCALE 1:500



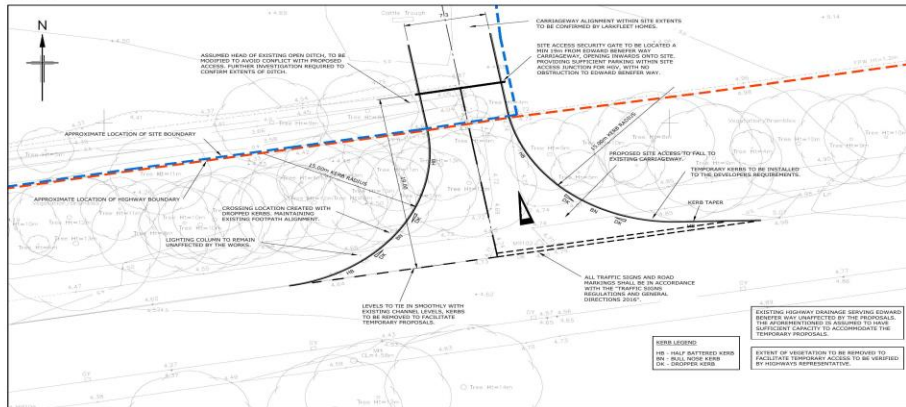
EAST ACCESS APPROACH

SCALE 1:500



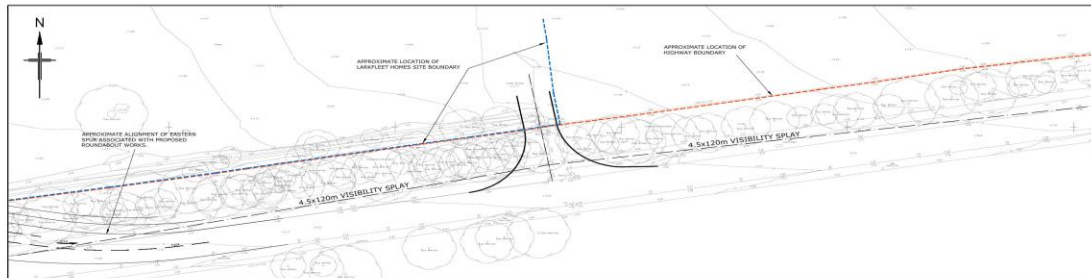
EAST ACCESS EGRESS

SCALE 1:500



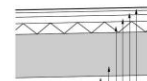
TEMPORARY ACCESS GENERAL ARRANGEMENT

SCALE 1:200



VISIBILITY SPYLA EXTENTS

SCALE 1:500



TYPICAL ACCESS ROAD CROSS SECTION

SCALE 1:25

TABLE A

CBR VALUE	SUB-BASE (TYPE 1) THICKNESS (mm)
5% >	225
>2% - 5%	150 SUB-BASE, 320 CAPPING (GF1)
< 2%	150 SUB-BASE, 600 CAPPING (GF1)

CARRIAGEWAY CONSTRUCTION

SURFACE COURSE
40mm THICK HMA 30/14 F surf 40/50 TO BS EN 13108 LAID AND COMPACTED TO BS EN 594987:2007.

BINDER COURSE
60mm THICK HMA 50/14 bin 40/60 TO BS EN 13108 LAID IN 2 LAYERS AND COMPACTED TO BS EN 594987:2007.

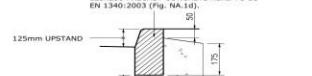
BASE COURSE
50mm THICK HMA 60/32 base 40/60 BS EN 13108 LAID AND COMPACTED TO BS 594987:2007.

SUB-BASE
150mm MINIMUM THICK TYPE 1 UNBOUND MIXTURE SUB-BASE TO CURRENT D.T.P. SPECIFICATION FOR HIGHWAY WORKS CL.802 & CL.803 TABLE 8/2.

CAPPING LAYER
600mm TYPE GF1 CAPPING LAYER LAID AND COMPACTED IN ACCORDANCE WITH D.T.P. SPECIFICATION FOR HIGHWAY WORKS CL.612.

FORMATION LEVEL TO BE PROOF ROLLED TO CLAUSE 609. SOFT SPOTS TO BE EXCAVATED BACK TO GOOD GROUND AND FILLED WITH FULLY COMPACTED TYPE 1 SUB-BASE MATERIAL TO THE SPECIFICATION FOR HIGHWAY WORKS CLAUSE 616, OR ALTERNATIVE AS AGREED WITH THE INSPECTOR.

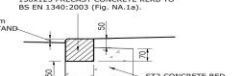
125x255 PRECAST CONCRETE KERB TO BS EN 1340:2003 (Fig. NA.14)



FULL HEIGHT KERB DETAIL

SCALE 1:10

150x125 PRECAST CONCRETE KERB TO BS EN 1340:2003 (Fig. NA.1a)



DROPPED KERB DETAIL

SCALE 1:10

REV.	DATE	DESCRIPTION	DRAWN	CHECKED

REVISIONS

This drawing is to be read in conjunction with all other Engineer's drawings and all other project information to be undertaken by the Engineer's draughting and all other project information to be reported to the Engineer immediately.



Project
KINGS LYNN SOUTH WOOTTON

Title
PRELIMINARY TEMPORARY ACCESS DETAILS & HGV SWEPHTH PATH ANALYSIS

Client
LARKFLEET HOMES

Scale
AS SHOWN @ A1

Drawn
J. HOLLIS

Checked
J. HOLLIS

Date
OCT 21

Approved
J. HOLLIS

Richard Jackson Engineering Consultants

407 The Quadrant, Colchester, Essex CO1 1PE Tel: 0206 208800

407 The Quadrant, Colchester, Essex CO1 1PE Tel: 0206 208810

2 South Street, 2nd Floor, Essex Road, London, EC1A 3DF Tel: 0206 208811

100 The Quadrant, Colchester, Essex CO1 1PE Tel: 0206 208812

The Quadrant, South Hill, Southampton, Hampshire SO16 0AF Tel: 01703 028810

100 The Quadrant, Colchester, Essex CO1 1PE Tel: 0206 208813

Drawing No. **60647/C/SK01** Revision

Drawing Status

INFORMATION APPROVAL CORRECTING

TENDON CONSTRUCTION AS CONSTRUCTED



Temporary Construction access



View west along Edward Benefer Way



View East along Edward Benefer Way



Health Centre Construction Access To East

22/01829/F



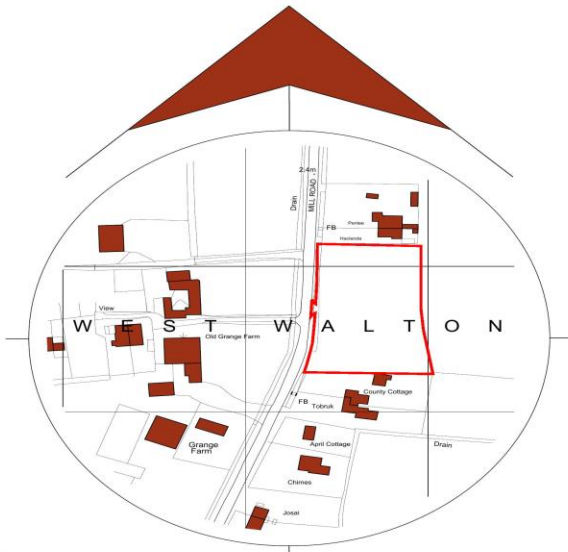


Mill Road Elevation
Scale: 1:500



Site Plan
Scale: 1:250

Location Plan
Scale: 1:1250



General Notes
 1. This drawing shall not be scaled, figured dimensions only to be used.
 2. All dimensions are given in their metric dimension only.
 3. The contractor, sub-contractors and suppliers must verify all dimensions on site prior to the commencement of any work.
 4. This drawing is to be read in conjunction with all relevant engineers and specialist sub-contractors drawings and specifications.
 5. Any discrepancies are to be brought to the designers attention.

SITE PLAN KEY

- Indicates trees and hedges surveyed
- Indicates trees and hedges (wherever their positions are approximate)
- Indicates proposed site access conforming to County Council Highway specification
- Indicates neighboring properties (from entrance survey location only)
- Indicates proposed dwellings
- Driveway
- Hatched indicates position of new washed gravel access driveway
- Indicates leased garden

Status
FOR APPROVAL



SWANN EDWARDS ARCHITECTURE LIMITED, GARDEN SQUARE, ABERDEEN, FIFE ROAD, SLEIGH, MESSING, GARDENS, PE13 9AA
 T 01224 404444 A 01224 404444 E info@swannedwards.co.uk www.swannedwards.co.uk

Proposed 2 No. New Dwellings Land North of County Cottage, Mill Road, West Walton for Child and Clark	Job Title June 2022	Drawn June 2022	Checked June 2022
Planning Drawing Site and Location Plans Mill Road Elevation	Job No. SE-1717	Drawn by R2	Checked by R2



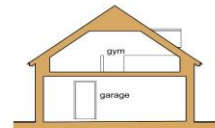
Front (W) Elevation
Scale: 1:100



Side (S) Elevation
Scale: 1:100



Section A-A
Scale: 1:100



Section B-B
Scale: 1:100



Rear (N) Elevation
Scale: 1:100



Side (E) Elevation
Scale: 1:100



Front (W) Elevation
Scale: 1:100



Side (S) Elevation
Scale: 1:100



Rear (E) Elevation
Scale: 1:100



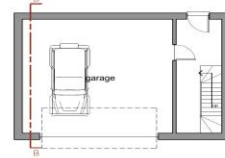
Side (N) Elevation
Scale: 1:100



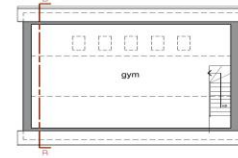
Ground Floor Plan
Scale: 1:100



First Floor Plan
Scale: 1:100



Garage Plans
Scale: 1:100



General Notes
1. This drawing shall not be scaled, figured dimensions only to be used.
2. All dimensions are unless otherwise stated.
3. The contractor, sub-contractors and suppliers must verify all approvals on site prior to the commencement of any work.
4. This drawing is to be read in conjunction with all relevant engineers and specialist sub-contractors drawings and specifications.
5. Any discrepancies are to be brought to the designers attention.

MATERIALS KEY

- Match indicates brickwork to be agreed with Local Authority
- Match indicates cladding to be agreed with Local Authority
- Match indicates render to be agreed with Local Authority
- Match indicates roof tiles to be agreed with Local Authority
- Windows and doors - UPVC
Climastorm with brick detail above
- Loaded Dormer Windows

Finestaster gables - black half round gutters and black round downpipes

Status
FOR APPROVAL

SWANN EDWARDS ARCHITECTURE
Swann Edwards Architecture Limited, Queen Elizabeth Academic, Fern Road, Salford, Greater Manchester, M6 6PU, UK
Tel: 0161 275 1111
www.swannedwards.co.uk

Proposed 2/10, New Dwelling Land North of County Cottage, M6 Road, West Station for Child and Clark	Rev June 2022	Drawn A.T.
Planning Drawing Plot 1 Plans, Elevations & Sections	Rev 15/11	Drawn R.D.



Front (W) Elevation
Scale: 1:100



Side (S) Elevation
Scale: 1:100



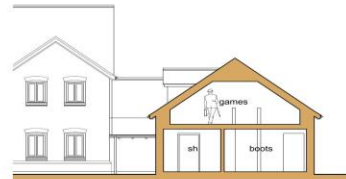
Section C-C
Scale: 1:100



Rear (E) Elevation
Scale: 1:100



Side (N) Elevation
Scale: 1:100



Section D-D
Scale: 1:100



Ground Floor Plan
Scale: 1:100



First Floor Plan
Scale: 1:100



Section E-E
Scale: 1:100

General Notes
1. This drawing shall not be scaled, figured dimensions only to be used.
2. All dimensions are given in feet unless otherwise stated.
3. The contractor, sub-contractors and suppliers must verify all dimensions on site prior to the commencement of any work.
4. This drawing is to be read in conjunction with all relevant engineers and specialist subcontractors drawings and specifications.
5. Any discrepancies are to be brought to the designers attention.

MATERIALS KEY

- Match indicates brickwork to be agreed with Local Authority
- Match indicates cladding to be agreed with Local Authority
- Match indicates render to be agreed with Local Authority
- Match indicates roof tiles to be agreed with Local Authority
- Windows and doors - UPVC
Clawfoot with brick detail above
- Loaded Dormer Windows
- Plasterboard gables - half hulk round gullies and black round downpipes

Status
FOR APPROVAL

SWANN EDWARDS ARCHITECTURE
 SWANN EDWARDS ARCHITECTURE LIMITED, GARDEN CLIFFS, ARDMORE, FAN RIVER, SLUGH, WEXFORD, IRELAND. TEL: 051 854 1111
 100-102A, KILPATRICK ROAD, DUBLIN 15, IRELAND. TEL: 01 454 4444

Proposed 2 No. New Dwellings Land North of County Cottage, Mill Road, West Station for Child and Clark	Rev. No. Shown June 2022 Rev. No. A.1	Drawn By R22
Planning Drawing Plot 2 Plans, Elevations & Sections	Rev. No. 1717	Rev. No. 101





Semi detached dwellings to the north . Southern elevation facing towards the application site.



Application site looking towards semi's to the north



Application site looking to south



Semi-detached dwellings to the south



Opposite the application site



Opposite the dwellings to the south of the application site
(Grange Farm)

END OF PRESENTATION

